

ST. JOHN MARINA

CORAL HARBOR, ST. JOHN, USVI

THE SUMMER'S END GROUP, LLC



BCSC DOSPIVA
Engineers • Surveyors • Planners
 5001-12 Chandler's Wharf, Christiansted, St. John, U.S. Virgin Islands
 WEBSITE: WWW.BATEMANCIVILSURVEY.COM PHONE: (340)776-474

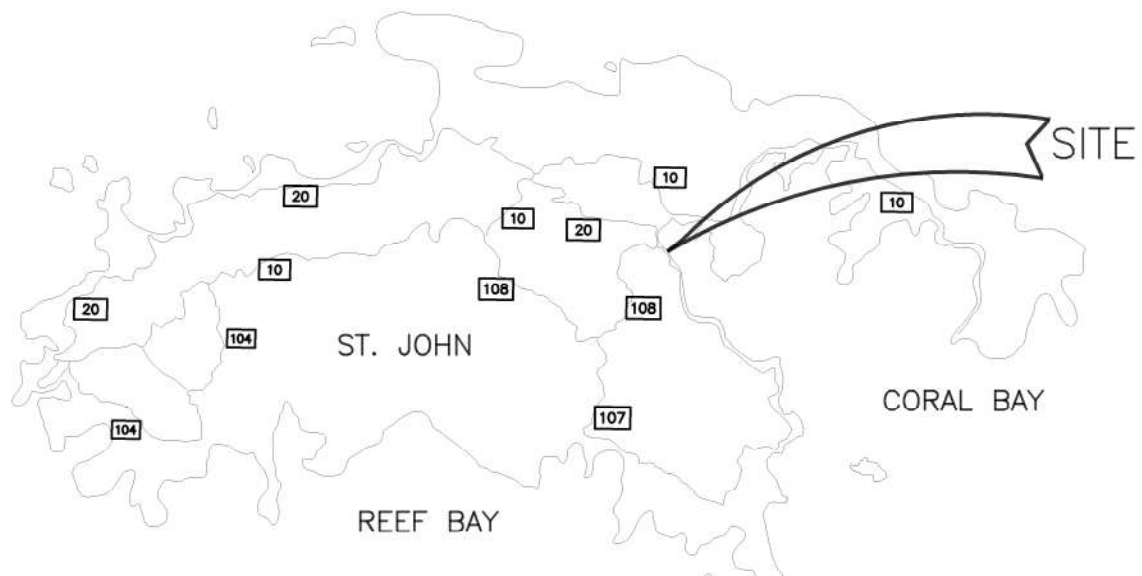


ST. JOHN MARINA
 CORAL HARBOR
 St. John, U.S. Virgin Islands

COVER SHEET

Designed By: MKD
 Drawn By: MKD
 Checked By: JLB
 Scale: 1"=30'
 Date: 08/11/2017
 Revised:
 1
 2
 3
 4
 5

Project Number: 16x065
C001



ISLAND MAP:
 NOT TO SCALE

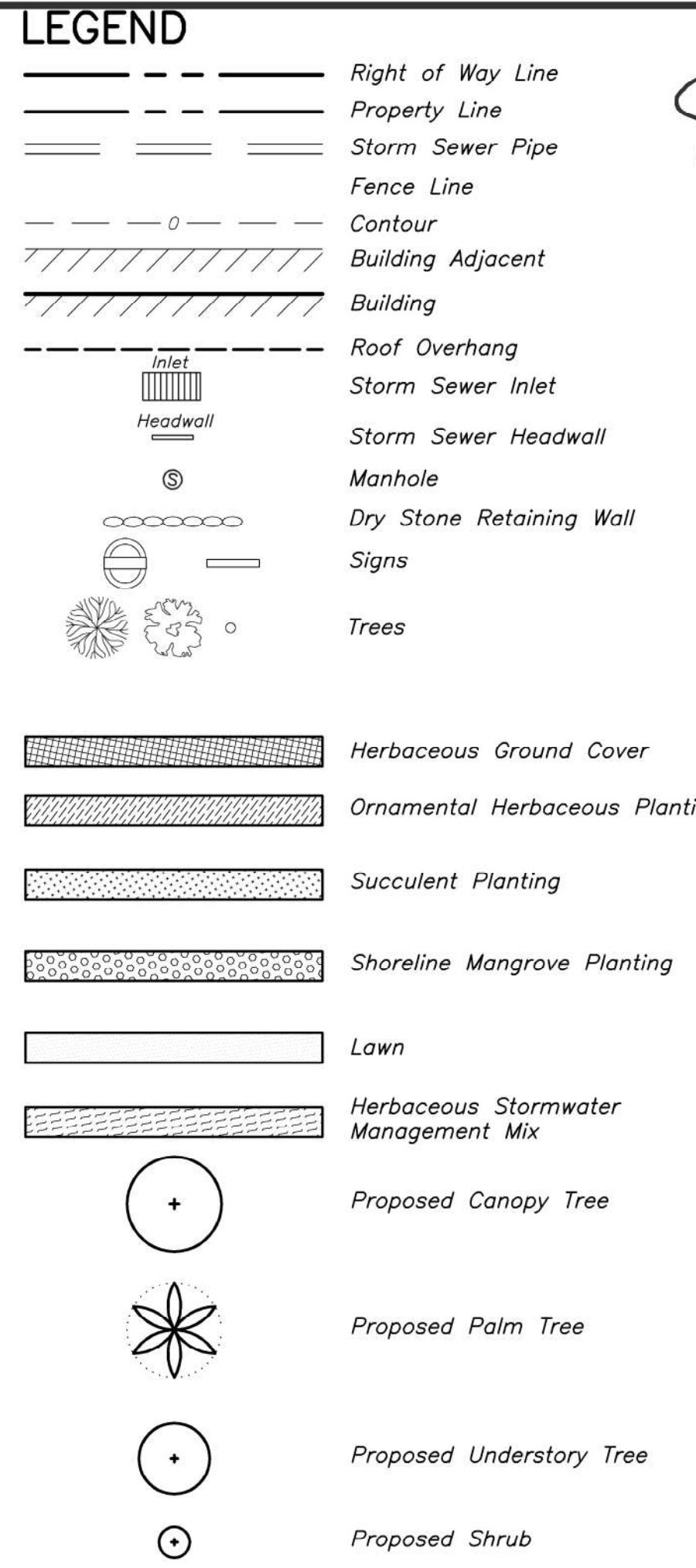
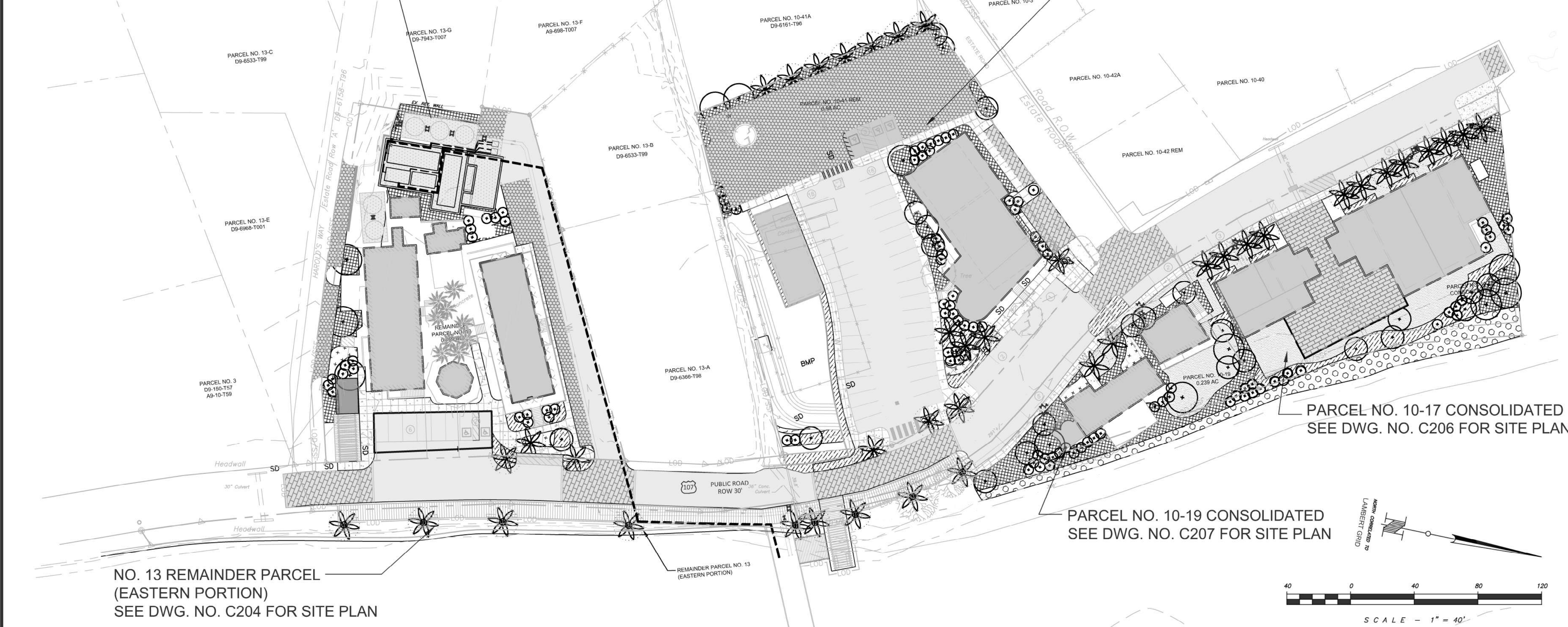
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C001	COVER SHEET
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C200	SITE PLAN (OVERALL)
C201	SITE PLAN (PARCEL 10-13 REM, WESTERN PORTION)
C202	SECTION VIEW-CISTERNS (PARCEL 10-13 REM, WESTERN PORTION)
C203	SECTION VIEW-FUEL STORAGE AREA (PARCEL 10-13 REM, WESTERN PORTION)
C204	SITE PLAN (PARCEL 10-13 REM (EASTERN PORTION))
C206	SITE PLAN (PARCEL 10-41 REM)
C207	SITE PLAN (PARCEL NO. 10-17 CONSOLIDATED)
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C602	SITE PLAN DETAILS
C700	EROSION & SEDIMENT CONTROL DETAILS

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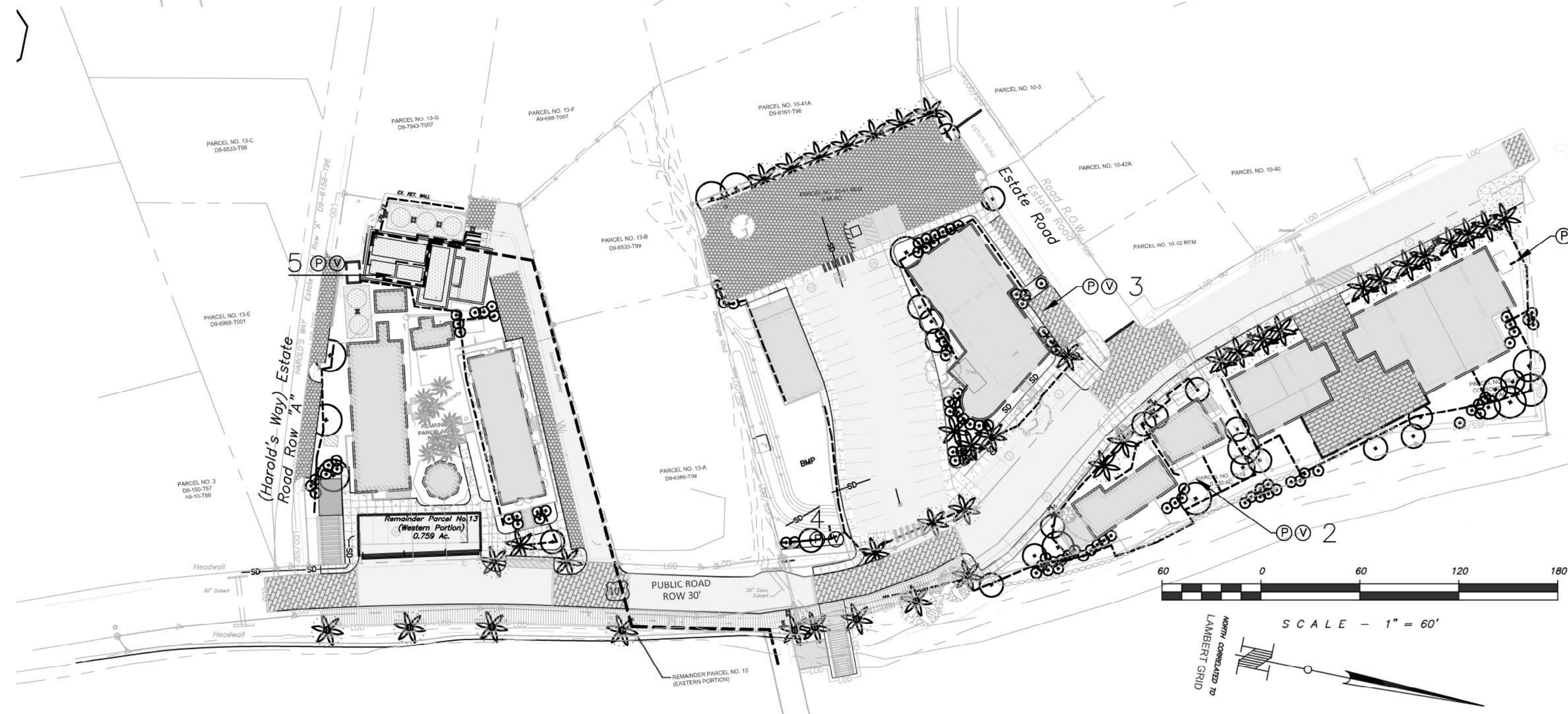
NO. 13 REMAINDER PARCEL (WESTERN PORTION)
SEE DWG. NO. C201 FOR SITE PLAN

PARCEL NO. 10-41 REMAINDER
SEE DWG. NO. C205 FOR SITE PLAN



PLANT MATERIALS LIST

QTY	KEY	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	REMARKS
CANOPY AND UNDERSTORY TREES						
2	AI	ANDIRA INDERMIS	CABBAGEBARK TREE	2" CAL.	B&B	HEAVY, MULTI-STEM
1762	AG	AVICENNIA GERMINANS	BLACK MANGROVE	LIVE STAKE	B&B	SPECIMEN, HEAVY
3	BS	BURSERIA SIMARUBA	TURPENTINE	2" CAL.	B&B	HEAVY, MULTI-STEM
8	CX	CASSINE XYLOCARPA	MARBLE TREE	2" CAL.	B&B	SPECIMEN, HEAVY
9	CU	COCCOLOBA DIVERSIFOLIA	PIGEONBERRY	2" CAL.	B&B	HEAVY, MULTI-STEM
5	CR	CORDIA RICKSECKERI	ORANGE MANJACK	2" CAL.	B&B	HEAVY, MULTI-STEM
3	GF	GUAPIRA FRAGRANS	BLACK MAMPOO	2" CAL.	B&B	SPECIMEN, HEAVY
1	PS	PISONIA SUBCORDATA	WATER MAMPOO	2" CAL.	B&B	SPECIMEN
3	PA	PLUMERIA ALBA	WHITE FRANGIPANI	2" CAL.	B&B	SPECIMEN, HEAVY
PALM TREES						
21	CA	COCCOTHRINAX ALTA	TEYER PALM	6" CAL.	B&B	SPECIMEN, HEAVY
11	SC	SABAL CAUSARIUM	PUERTO RICAN HAT PALM	6" CAL.	B&B	SPECIMEN, HEAVY
7	RM	RAVENALA MADAGASCARIENSIS	TRAVELER'S PALM	6" CAL.	B&B	SPECIMEN, HEAVY
SUCCULENTS						
40	AM	AGAVE MISSIONUM	CENTURY PLANT	24"-30"	B&B	SPECIMEN, HEAVY
102	OD	OPUNTIA DILLENI	PRICKLY PEAR CACTUS	24"-30"	B&B	SPECIMEN, HEAVY
69	PR	PILOSOCCERUS ROYENII	PIPE ORGAN CACTUS	24"-30"	B&B	SPECIMEN, HEAVY
90	MI	MELOCACTUS INTORTUS	TURK'S CAP CACTUS	18"-24"	B&B	SPECIMEN, HEAVY
SHRUBS						
38	HR	HIBISCUS ROSA-SINENSIS	CHINESE HIBISCUS	30"-36"	B&B	48" O.C.
7	BG	BOUGAINVILLEA GLABRA	BOUGAINVILLEA	30"-36"	B&B	48" O.C.
21	LC	LANTANA CAMARA	WILD SAGE	30"-36"	B&B	48" O.C.
23	BL	BYRSONIMA LUCIDA	LOCUSTBERRY	24"-30"	B&B	36" O.C.
HERBS, GROUND COVERS, AND GRASSES						
831	AM	ALOCASIA MACRORRHIZA	GIANT TARO	#1 CONT.		18" O.C.
1486	AF	ALTERNANTHERA FICOIDEA	JOSEPH'S COAT	#1 CONT.		18" O.C.
1430	AG	ARACHIS GLABRATA	PERENNIAL PEANUT	#1 CONT.		12" O.C.
1730	CE	COLOCASIA ESCULENTA	TARO	#1 CONT.		18" O.C.
2079	TP	TALINUM PANICULATUM	JEWELS OF OPAR	#1 CONT.		12" O.C.
HERBACEOUS STORMWATER MANAGEMENT MIX						
903	CYA	CYPERUS ALTERNIFOLIUS	UMBRELLA SEDGE	#1 CONT.		12" O.C.
3523	JEF	JUNCUS EFFUSUS	SOFT RUSH	#1 CONT.		12" O.C.
365	SCC	SCIRPUS CALIFORNICUS	CALIFORNIA BULLRUSH	#1 CONT.		12" O.C.
1620	SPB	SPARTINA BAKERI	CORDGRASS	#1 CONT.		12" O.C.



1 SCHEMATIC IRRIGATION PLAN
1"=60"

LANDSCAPING STAGING NOTES:

- STAGE 1 SHALL CONSISTS OF PARCELS 10-13 REM (WESTERN PORTION), 10-41 REM AROUND PARKING LOT, BMP & B8 AND 10-19. THE REMAINDER OF THE PROJECT SHALL BE TURF.
- STAGE 2 SHALL CONSIST OF THE REMAINING PORTION OF PARCEL 10-41 REM, UPON COMPLETION OF THE CONSTRUCTION OF B9, AND PARCEL 10-17 CONSOLIDATED UPON COMPLETION OF THE CONSTRUCTION OF B10 AND B11.

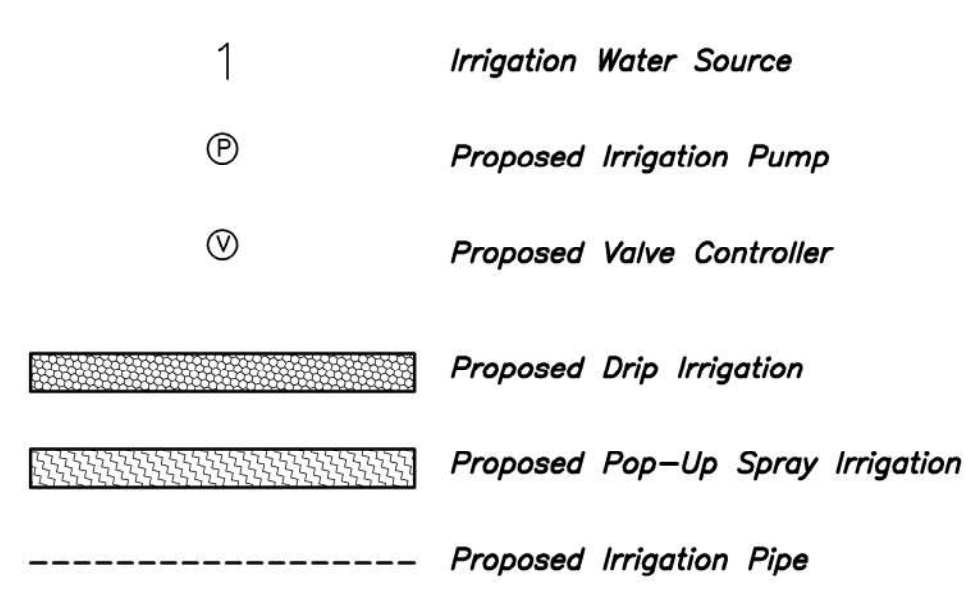
- IRRIGATION NOTES:
- IRRIGATION CONTRACTOR MUST CONFIRM MATERIALS QUANTITIES. QUANTITIES SHALL BE APPROVED BY THE ENGINEER.
 - IRRIGATION WATER SOURCE TO BE TAKEN FROM SEWAGE TREATMENT EFFLUENT RECYCLED WATER AND STORMWATER MANAGEMENT BASIN.
 - COORDINATE FINAL LOCATION OF ALL DRIP TUBING, SPRINKLERS AND NOZZLE SELECTION W/ FINAL APPROVED LANDSCAPE.
 - PROVIDE DRIP TUBING AT 12" ON CENTER WITH 1" CONTROL VALVES FOR EVERY 1000 SF.
 - FULL AND PART CIRCLE POP UP SPRAY SPRINKLERS SHALL BE PRESSURE REGULATING, PLASTIC CONSTRUCTION WITH RATCHETING RISER, REMOVABLE NOZZLE AND CHECK VALVE. POP-UP HEIGHT SHALL BE 6" FOR TURF AND 12" FOR GROUND COVER, SHRUBS AND ORNAMENTAL BEDS.
 - ALL PIPE AND VALVE LOCATIONS ARE DIAGRAMMATIC, CONTRACTOR SHALL FIELD VERIFY.
 - ALL VALVES AND VALVE BOXES SHALL BE PLACED, WHERE POSSIBLE, IN PLANTED AREAS UNDER MULCH.
 - INSTALL ALL PIPING AS FAR FROM TREES AND ROOTBALLS AS POSSIBLE WHILE MAINTAINING SPRINKLER AND DRIP TUBE SPACING.
 - INSTALL CONTROLLER IN ENCLOSURE, GENERALLY WHERE SHOWN ON THE DRAWINGS, HARD WIRE TO 120 VOLT, DEDICATED 20 AMP CIRCUIT, POWER SUPPLY USING LICENSED ELECTRICIAN, ROUTE ALL ZONE AND SPARE WIRES TO CONTROLLER VIA CONDUIT THROUGH ENCLOSURE BASE.
 - INSTALL RAIN SENSOR ON EXTERIOR BUILDING WALL WHERE DIRECTED BY OWNER'S REPRESENTATIVE. EXTERIOR RAIN SENSOR WIRING SHALL BE CONTAINED IN 1/2 INCH METALLIC CONDUIT, SECURED TO OUTSIDE OF BUILDING WALL.
 - ALL ABOVE GROUND WIRING, INSIDE AND OUTSIDE OF BUILDING, SHALL BE INSTALLED IN RIGID, METALLIC CONDUIT FOR VANDALISM PROTECTION.
 - COORDINATE LOCATION OF ALL EXISTING AND FUTURE UTILITIES ON SITE AND CONTACT PROPER AUTHORITIES AND UTILITY COMPANIES BEFORE THE START OF WORK.
 - IN-LINE DRIP TUBING TO BE INSTALLED 4" BELOW GRADE UNDER MULCH. NO DRIPPER LINE TUBING SHALL BE VISIBLE TO THE NAKED EYE.
 - INSTALL AUTOMATIC FLUSH PORTS AT LOWEST POINT OF PVC EXHAUST HEADER, GENERALLY WHERE SHOWN ON THE DRAWINGS.
 - INSTALL AIR VACUUM/RELIEF VALVES AT HIGH POINT OF IN-LINE DRIP TUBING.

GRAY WATER CONTINUITY

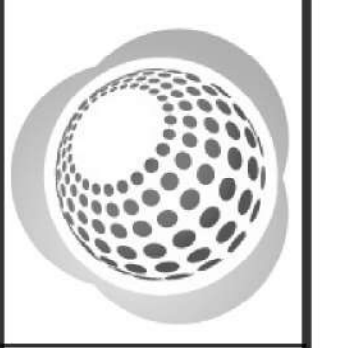
IRRIGATION SOURCE	IRRIGATION AREA (SF)	GRAY WATER VOLUME AVAILABLE (GAL)	GRAY WATER DURATION (DAYS)
1	8841	23000	3
2	8193	23000	3
3	3830	7000	2
4	7254	39000	5.5
5	1448	5000	3.5

IRRIGATION SCHEDULE

IRRIGATION SOURCE	DRIP IRRIGATION AREA (SF)	POP-UP SPRAY IRRIGATION AREA (SF)
1	477	8364
2	724	7469
3	3448	382
4	2533	4721
5	0	1448
TOTAL	7182	22384



BCSC DOSPIVA
Engineers • Surveyors • Planners
5001-12 Chandler's Wharf, Christiansburg, VA 24003
WEBSITE: WWW.BATEMANICHTILSURVEY.COM PHONE: (840) 776-7474



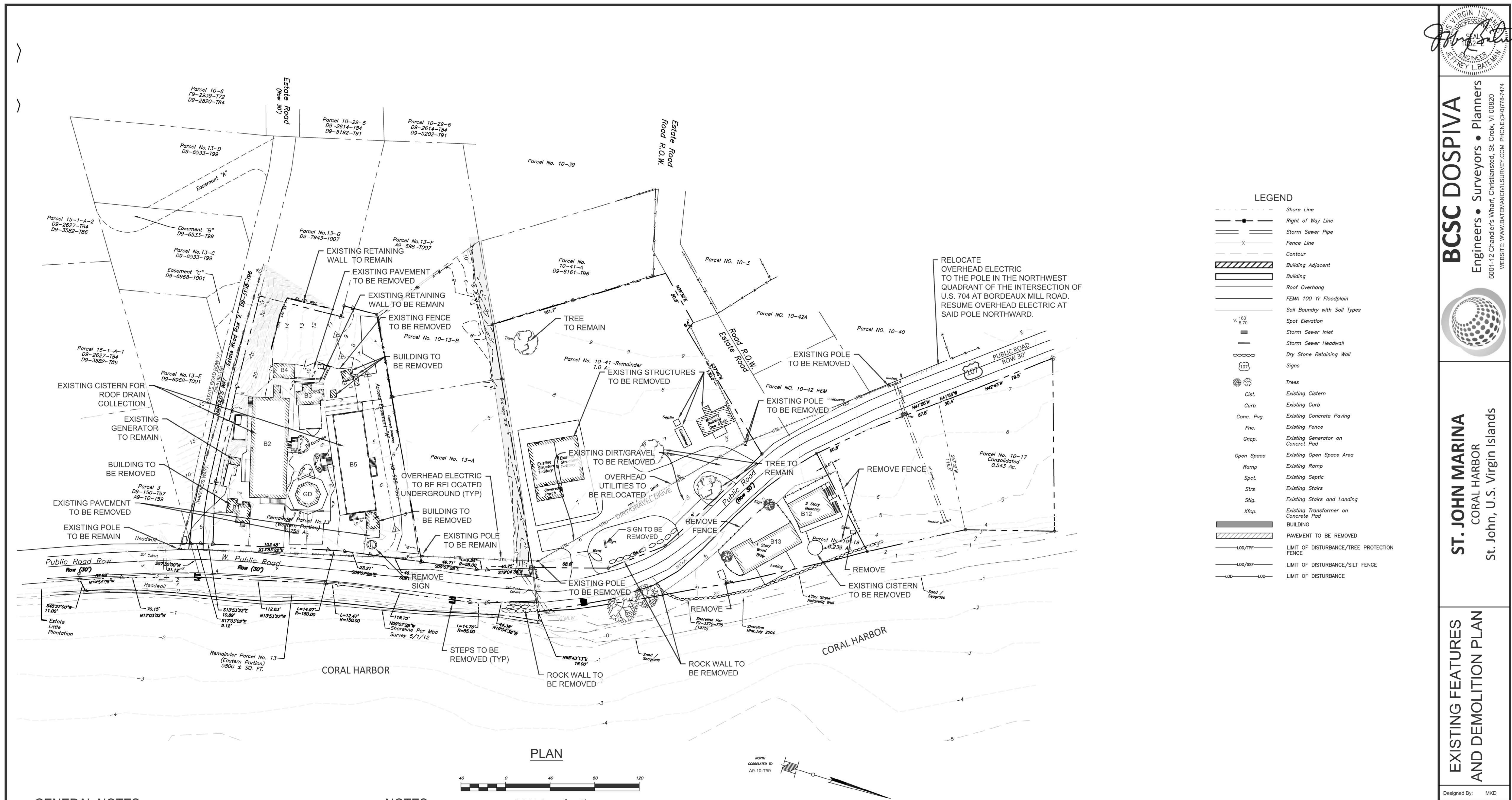
ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

LANDSCAPE AND IRRIGATION PLAN

Designed By: MKD
Drawn By: MKD
Checked By: JLB
Scale: 1"=40'
Date: 08/11/2017
Revised:
Project Number: 16X065

L100

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GENERAL NOTES:

1. CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANY COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTES:

1. PLAN REFERENCE: EXISTING FEATURES, TOPOGRAPHY AND BOUNDARY INFORMATION SHOWN HEREON ARE TAKEN FROM INFORMATION PROVIDED BY THE CLIENT. SURVEY INFORMATION PROVIDED BY MARVIN BERNING & ASSOCIATES, 6051 RED HOOK PLAZA, SUITE 201, ST. THOMAS, VI 00802, PHONE: 340-775-6557. BCSC DOSPIVA DOES NOT GUARANTEE THE SURVEY INFORMATION. PRIOR TO CONSTRUCTION, ALL INFORMATION SHOULD BE FIELD VERIFIED TO ASSESS THE ACTUAL CONDITIONS ON THE GROUND AT THE TIME OF CONSTRUCTION.
2. FLOODPLAIN INFORMATION SHOWN HEREON TAKEN FROM FEMA FIRM MAP NUMBER 7800000356 DATED APRIL 16, 2007 AND ACCOMPANYING DIGITAL DATA FROM FEMA GIS INFORMATION. FLOODPLAIN ON THE SUBJECT PROPERTY IS AT ELEVATION 10 FEET.



BCSC DOSPIVA
Engineers • Surveyors • Planners
5001-12 Chandlers Wharf, Christiansburg, St. Croix, VI 00820
WEBSITE: WWW.BATEMANCIVILSURVEY.COM PHONE: (340)778-7474



ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

EXISTING FEATURES AND DEMOLITION PLAN

Designed By:	MKD
Drawn By:	MKD
Checked By:	JLB
Scale:	1" = 40'
Date:	08/11/2017
Revised:	
①	
②	
③	
④	
⑤	
Project Number:	16X065

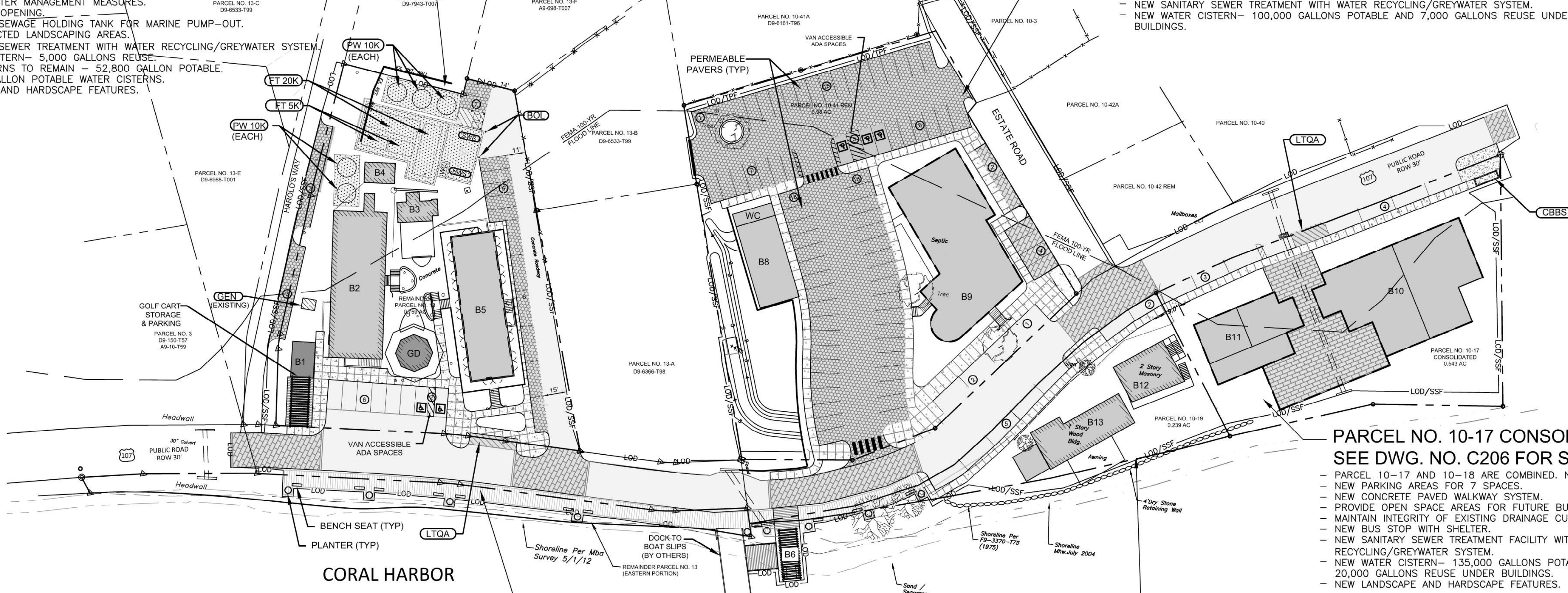
C100

NO. 13 REMAINDER PARCEL (WESTERN PORTION)
SEE DWG. NO. C201 FOR SITE PLAN

- REMOVE SELECTED STRUCTURES AND BLDGS.
- RECONFIGURE PEDESTRIAN ACCESS TO BLDGS., ADJACENT TO ROADWAY.
- IMPROVE INTERIOR FLOOR SPACE FOR BLDG. B5.
- NEW PARKING AREAS FOR 27 SPACES INCLUDING 2 ADA VAN ACCESSIBLE SPACES.
- NEW BLDG FOR GOLF CART STORAGE AND PARKING.
- NEW ABOVE GRADE FUEL TANKS AND WASTE STORAGE AREA.
- NEW ENCLOSURE FOR FUEL TANKS AND SOLID WASTE AREA WITH STORAGE AND RESTROOM FACILITY.
- NEW LOADING AND TAXI QUEING AREA.
- NEW RAISED PEDESTRIAN CROSSWALK CONNECTING TO HARBOR SIDE BOARDWALK AND SIDEWALK.
- NEW STORM WATER MANAGEMENT MEASURES.
- NEW DRIVEWAY OPENING.
- NEW SANITARY SEWAGE HOLDING TANK FOR MARINE PUMP-OUT.
- UPGRADE SELECTED LANDSCAPING AREAS.
- NEW SANITARY SEWER TREATMENT WITH WATER RECYCLING/GREY-WATER SYSTEM.
- NEW WATER CISTERN- 5,000 GALLONS REUSE.
- EXISTING CISTERNS TO REMAIN - 52,800 GALLON POTABLE.
- NEW 50,000 GALLON POTABLE WATER CISTERNS.
- NEW SIDEWALK AND HARDSCAPE FEATURES.

PARCEL NO. 10-41 REMAINDER
SEE DWG. NO. C205 FOR SITE PLAN

- REMOVE SELECTED STRUCTURES AND TREES.
- NEW PARKING AREAS FOR 77 SPACES INCLUDING 3 ADA ACCESSIBLE SPACES.
- NEW LOADING AND TAXI QUEUING AREA.
- NEW CONCRETE PAVED WALKWAY SYSTEM.
- NEW SIDEWALK AND HARDSCAPE FEATURES.
- NEW RAISED PEDESTRIAN CROSSWALK CONNECTING UPLAND WITH PARCEL NO. 10-19.
- NEW STORM WATER MANAGEMENT MEASURES.
- NEW DRIVEWAY OPENINGS.
- UPGRADE SELECTED LANDSCAPING AREAS.
- PROVIDE OPEN SPACE AREAS FOR FUTURE BUILDINGS.
- NEW SANITARY SEWER TREATMENT WITH WATER RECYCLING/GREY-WATER SYSTEM.
- NEW WATER CISTERN- 100,000 GALLONS POTABLE AND 7,000 GALLONS REUSE UNDER BUILDINGS.



NO. 13 REMAINDER PARCEL (EASTERN PORTION)
SEE DWG. NO. C204 FOR SITE PLAN
- NEW BOARDWALK TO MARINA BOAT SLIPS.

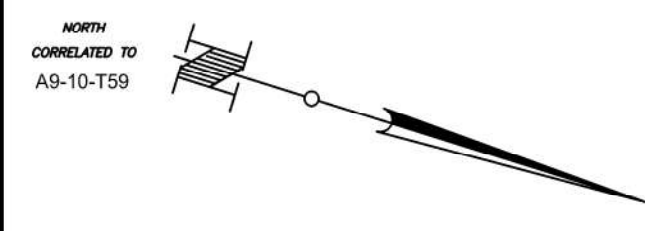
PARCEL NO. 10-19
SEE DWG. NO. C207 FOR SITE PLAN
- NEW COVERED ENTRANCE TO MARINA BOAT SLIPS.
- NEW PARKING AREAS FOR 7 SPACES.
- NEW CONCRETE PAVED WALKWAY SYSTEM.
- NEW SANITARY SEWER TREATMENT FACILITY WITH WATER RECYCLING/ GREY-WATER SYSTEM.
- NEW WATER CISTERN- 21,000 GALLONS POTABLE AND 3,000 GALLONS REUSE.
- NEW RAISED PEDESTRIAN CROSSWALK.
- NEW LANDSCAPE AND HARDSCAPE FEATURES.

PARCEL NO. 10-17 CONSOLIDATED
SEE DWG. NO. C206 FOR SITE PLAN
- PARCEL 10-17 AND 10-18 ARE COMBINED. NEW MAP #7
- NEW PARKING AREAS FOR 7 SPACES.
- NEW CONCRETE PAVED WALKWAY SYSTEM.
- PROVIDE OPEN SPACE AREAS FOR FUTURE BUILDINGS.
- MAINTAIN INTEGRITY OF EXISTING DRAINAGE CULVERT.
- NEW BUS STOP WITH SHELTER.
- NEW SANITARY SEWER TREATMENT FACILITY WITH WATER RECYCLING/GREY-WATER SYSTEM.
- NEW WATER CISTERN- 135,000 GALLONS POTABLE AND 20,000 GALLONS REUSE UNDER BUILDINGS.
- NEW LANDSCAPE AND HARDSCAPE FEATURES.

- KEY**
- (ADA) PROVIDE ADA PARKING SPACES
 - (C) PROVIDE CONCRETE PAVING
 - (CWW) PROVIDE CONCRETE PAVED WALKWAY
 - (DO) PROVIDE DRIVEWAY OPENING
 - (DWBS) PROVIDE DOMESTIC WATER BUILDING SERVICE
 - (E) PROVIDE UNDERGROUND ELECTRIC LINE
 - (EJB) PROVIDE UNDERGROUND ELECTRIC JUNCTION BOX
 - (L) PROVIDE LANDSCAPE AREA
 - (LTOA) PROVIDE LOADING & TAXI QUEUING AREA
 - (NB) NEW BUILDING
 - (PA) PROVIDE PARKING
 - (PP) PROVIDE PERMEABLE PAVERS
 - (PRPC) PROVIDE RAISE PEDESTRIAN UNITS PAVEMENT CROSSWALK
 - (RTWL) PROVIDE RETAINING WALL
 - (RW) PROVIDE RECYCLED WATER LINE
 - (STL) PROVIDE STAIRS & LANDING
 - (TEE) PROVIDE TEE FITTING
 - (WCP) PROVIDE POTABLE WATER CISTERN
 - (WCR) PROVIDE RECYCLED WATER CISTERN
 - (WWTP) PROVIDE WASTEWATER TREATMENT PLANT
 - (WHT) WASTE WATER HOLDING TANK
 - (FM) PROVIDE FORCE MAIN
 - (EB) EXISTING BUILDING
 - (SWD) STORM WATER DETENTION
 - (ET) FUEL TANK
 - (WC) WATER CLOSET
 - (GEN) GENERATOR
 - (PW) PROVIDE POTABLE WATER STORAGE
 - (SBW) PROVIDE BOAT WASTE STORAGE
 - (CBBS) PROVIDE CONCRETE BLOCK BUS STOP
 - (SWS) PROVIDE SOLID WASTE STORAGE
 - (HWS) PROVIDE HAZARDOUS WASTE STORAGE
 - (BOL) PROVIDE BOLLARDS

- LEGEND**
- Shore Line
 - Right of Way Line
 - Storm Sewer Pipe
 - Fence Line
 - Contour
 - Building Adjacent
 - Building
 - Roof Overhang
 - FEMA 100 Yr Floodplain
 - Soil Boundary with Soil Types
 - Spot Elevation
 - Storm Sewer Inlet
 - Storm Sewer Headwall
 - Manhole
 - Dry Stone Retaining Wall
 - Signs
 - Trees
 - Clat.
 - Existing Curb
 - Conc. Pvg.
 - Fnc.
 - Genp.
 - Open Space
 - Ramp
 - Sect.
 - Sts
 - Stls
 - Xfg.
 - PROPOSED PEDESTRIAN UNIT PAVERS
 - PROPOSED LANDSCAPE AREA
 - PROPOSED CONCRETE PAVING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED PERMEABLE PAVERS
 - PROPOSED PERMANENT TURF REINFORCEMENT MATING
 - PROPOSED ROCK STABILIZATION BLANKET
 - PROPOSED CONTOUR
 - NEW SPOT GRADE
 - PARKING SPACES
 - PROPOSED WELL
 - PROPOSED OUTLET STRUCTURE
 - PROPOSED SEDIMENT TRAP
 - PROPOSED STORM LINE
 - PROPOSED SANITARY LINE
 - PROPOSED SANITARY FORCE MAIN
 - PROPOSED WATER LINE
 - PROPOSED RECYCLED WATER LINE
 - PROPOSED UNDERGROUND ELECTRIC LINE
 - PROPOSED UNDERGROUND STORM WATER MANAGEMENT AREA
 - PROPOSED VERTICAL STONE INTERCEPTOR DRAIN
 - PROPOSED TRENCH DRAIN
 - PROPOSED END WALL
 - LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
 - LIMIT OF DISTURBANCE/SILT FENCE
 - LIMIT OF DISTURBANCE

- SITE PLAN LEGEND**
- (GEN) NEW GENERATOR ON CONCRETE PAD
 - (WWTP) NEW INDIVIDUAL ON-LOT WASTE WATER TREATMENT PLANT
 - (RW 4K) NEW RECYCLED WATER CISTERN WITH CAPACITY IN THOUSANDS OF GALLONS
 - (PW 4K) NEW POTABLE WATER CISTERN WITH CAPACITY IN THOUSANDS OF GALLONS
 - (RW) NEW RECYCLED WATER CISTERN ABOVE GROUND PLASTIC
 - (PW) NEW POTABLE WATER CISTERN ABOVE GROUND PLASTIC



BUILDING AREA SCHEDULE			
PARCEL	ID	EXISTING SF	PROPOSED SF
REMAINDER 10-13 (WESTERN)	B1	0	300
	B2	2,505	2,505
	B3	350	350
	B4	240	240
	B5	2,635	2,455
	GD	370	370
	AB-TBR	345	0
	AB-TBR	35	0
	AB-TBR	88	0
	FT AREA	0	2,544
PW	0	1,238	
SUB-TOTAL		6,568	10,002
REMAINDER 10-13 (EASTERN)	B6	0	500
SUB-TOTAL		0	500
10-41-REMAINDER	B8	0	1,205
	B9	0	4,945
	AB-TBR	613	0
	AB-TBR	2,100	0
SUB-TOTAL		2,713	6,150
10-17 CONSOLIDATED	B10	0	5,055
	B11	0	2,185
SUB-TOTAL		0	7,240
10-19	B12	915	915
	B13	1,325	1,325
	SUB-TOTAL		2,240
GRAND TOTAL		11,521	26,132

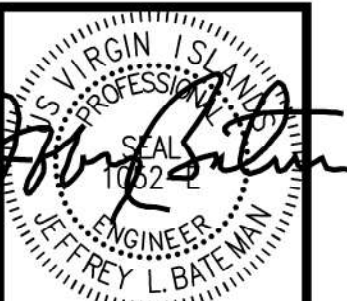
ZONING BUILDING USE SCHEDULE											
ID	EXISTING USE	PROPOSED USE	PERMITTED USE	FOOTPRINT (SF)	RETAIL (GSF)	RESTAURANT (SEATS)	OUTDOOR DECK (GSF)	MARINA SLIPS (SLIPS)	MARINA OFFICE (SF)	EMPLOYEES (2) (EMPLOYEES)	APTMENTS (UNIT)
B1	N/A	GOLF CART PARKING	Y	300	300						
B2	RETAIL; CONCESSION	NO CHANGE IN USE	Y	2,505	2,505					4	
B3	RESTAURANT; KITCHEN	NO CHANGE IN USE	Y	350	0	60				8	
B4	PUBLIC REST AND BATH ROOM	NO CHANGE IN USE	Y	240	0						
B5	RETAIL; CONCESSION	REMODELED-RETAIL; MULT-USE OFFICE (1)	Y	2,455	2,455				350	6	
GD	TAVERN; RESTAURANT SEATING	NO CHANGE IN USE	Y	370	0	18				2	
B6	N/A	CONNECTION (3)	Y	500	0			44			
B8	N/A	RETAIL; FARMERS MARKET	Y	1,205	1,205					10	
B9	N/A	RETAIL	Y	4,945	4,945	50		50		10	
B10	N/A	RETAIL; RESTAURANT; APTMENTS (4)	Y	5,055	5,055			50		20	3
B11	N/A	RETAIL; APTMENTS (4)	Y	2,185	2,185					13	3
B12	HOTEL	OFFICE (5); SHOWER (6); APTMENTS (7)	Y	915					350	2	2
B13	RESTAURANT	RESTAURANT	Y	1,325		48	710			6	
TOTAL				22,350	18,650	176	710	144	700	81	8

- NOTES:**
1. CUSTOMS; IMMIGRATION; HOMELAND SECURITY; MARINA TERMINAL
 2. MAXIMUM PER SHIFT
 3. LAND TO SEA CONNECTION
 4. SHORT TERM RENTAL UNITS
 5. MARINA SECURITY
 6. CREW SHOWERS
 7. MARINA MANAGER
- (SF) SQUARE FEET
(GSF) GROSS SQUARE FEET

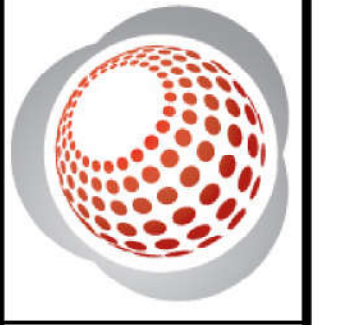
OFF STREET PARKING SCHEDULE				
USE	UNIT	QUANTITY	RATIO	REQ'D PARKING SPACES
RESTAURANT	SEATS	176	1 PS:10 SEATS	18
RETAIL BLDGS/MARINA OFFICE	GSF	19,346	1 PS:500 GSF	39
MARINA	SLIPS	144	1 PS:5 SLIPS	29
EMPLOYEES (1)	EMPLOYEE	81	1 PS:5 EMPLOYEES	16
APTMENTS	UNIT	0	1 PS:UNIT	0
SHORT-TERM RENTAL	UNIT	6	1 PS:UNIT	6
MANAGER UNITS	UNIT	2	1 PS:UNIT	2
TOTAL NUMBER REQ'D.				110
TOTAL NUMBER PROVIDED ON PLAN				110
LOADING SPACES PROVIDED ON PLAN				3

PROPOSED PARKING SCHEDULE			
PARCEL	OFF STREET	ADA	LOADING
REMAINDER 13 (WESTERN)	25	2	2
REMAINDER 13 (EASTERN)	0	0	0
10-41-REMAINDER	74	3	0
10-17 (CONSOLIDATED)	7	0	0
10-19	7	0	1
TOTAL	113	5	3
ADA PARKING SPACE BREAKDOWN			
TYPE	REQUIRED	PROVIDED	
ADA VAN ACCESSIBLE SPACES	3	3	
ADA ACCESSIBLE SPACES	5	5	

OPEN SPACE AREA SCHEDULE							
PARCEL	LOT (SF)	EXISTING BLDG./PARKING/DRIVES AREA (SF)	PROPOSED BLDG./PARKING/DRIVES AREA (SF)	EXISTING OPEN SPACE (SF)	PERCENT OF LOT (%)	PROPOSED OPEN SPACE (SF)	PERCENT OF LOT (%)
REMAINDER 13 (WESTERN)	33,062	11,842	19,286	21,220	64	13,776	42
REMAINDER 13 (EASTERN)	5,800	0	455	5,800	100	5,345	92
10-41-REMAINDER	42,689	9,774	24,764	32,915	77	17,925	42
10-17 (CONSOLIDATED)	23,653	0	7,240	23,653	100	16,413	69
10-19	10,410	2,950	2,950	7,460	72	7,460	72
TOTALS	115,614	24,566	54,695	91,048	79	60,919	53



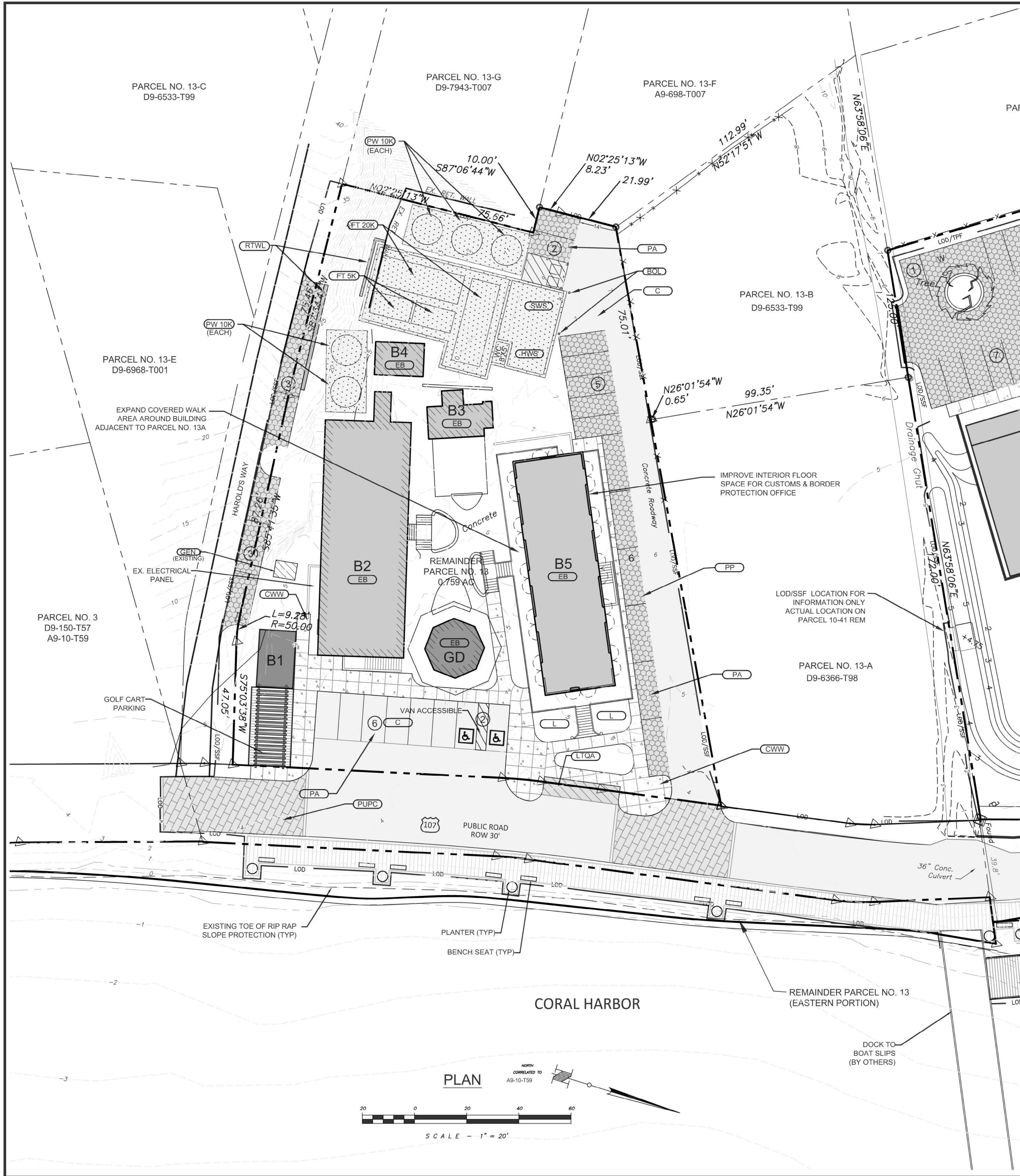
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WEBSITE: WWW.BATEMANCIVILSURVEY.COM PHONE: (840) 776-4774



ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

SITE PLAN
OVERALL PROJECT

Designed By: MKD
Drawn By: ASF/MKD
Checked By: JLB
Scale: 1" = 40'
Date: 08/11/2017
Revised:
Project Number: 16X065
C200



NOTES:

1. PLAN REFERENCE: EXISTING FEATURES,

GENERAL NOTES:

- CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANT COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ZONING SCHEDULE PARCEL NUMBER REMAINDER 13 (WESTERN PORTION)			
0.759 AC			
W-1 WATERFRONT PLEASURE DISTRICT			
DESCRIPTION	PERMITTED	EXISTING	PROPOSED
LOT AREA (MIN)	10,000 SF	33,062 SF	33,062 SF
LOT OCCUPANCY (MAX)	40%	11,842 SF; 36%	10,002; 30%
LOT OPEN SPACE (MIN)	30%	21,220; 64%	13,776 SF; 42%
LOT DENSITY (MAX) (S)	N/A	N/A	N/A
LOT WIDTH (MIN)	100 FT	187.9 FT	187.9 FT
FRONT YARD SETBACK (MIN)	25 FT	19.9 FT	25 FT
SIDE YARD SETBACK (MIN)	10 FT	11.2 FT	10 FT
REAR YARD SETBACK (MIN)	20 FT	51.6 FT	20.2 FT

(1) HOUSING NOT PROPOSED

ZONING BUILDING HEIGHT SCHEDULE			
ID	EXISTING HEIGHT	PROPOSED HEIGHT	PERMITTED HEIGHT
B1	N/A	1 STORY	3 STORY
B2	1 STORY	N/A	3 STORY
B3	1 STORY	N/A	3 STORY
B4	1 STORY	N/A	3 STORY
B5	1 STORY	N/A	3 STORY
B6	1 STORY	1 STORY	3 STORY

KEY

- ADA PROVIDE ADA PARKING SPACES
- C PROVIDE CONCRETE PAVING
- CWW PROVIDE CONCRETE PAVED WALKWAY
- DO PROVIDE DRIVEWAY OPENING
- DWBS PROVIDE DOMESTIC WATER BUILDING SERVICE
- E PROVIDE UNDERGROUND ELECTRIC LINE
- EJB PROVIDE UNDERGROUND ELECTRIC JUNCTION BOX
- L PROVIDE LANDSCAPE AREA
- LTQA PROVIDE LOADING & TAXI QUEUING AREA
- NB NEW BUILDING
- PA PROVIDE PARKING
- PP PROVIDE PERMEABLE PAVERS
- PUPC PROVIDE RAISE PEDESTRIAN UNIT PAVEMENT CROSSWALK
- RTWL PROVIDE RETAINING WALL
- RW PROVIDE RECYCLED WATER LINE
- STL PROVIDE STAIRS & LANDING
- TEE PROVIDE TEE FITTING
- WCP PROVIDE POTABLE WATER CISTERN
- WCR PROVIDE RECYCLED WATER CISTERN
- WWTIP PROVIDE WASTEWATER TREATMENT PLANT
- WWTI PROVIDE WASTE WATER HOLDING TANK
- FM PROVIDE FORCE MAIN
- EB EXISTING BUILDING
- SWD STORM WATER DETENTION
- FT FUEL TANK
- WC WATER CLOSET
- GEN GENERATOR
- PW PROVIDE POTABLE WATER STORAGE
- SBW PROVIDE BOAT WASTE STORAGE
- SWS PROVIDE SOLID WASTE STORAGE
- HWS PROVIDE HAZARDOUS WASTE STORAGE
- BOLL PROVIDE BOLLARDS

LEGEND

- Shore Line
- Right of Way Line
- Storm Sewer Pipe
- Fence Line
- Contour
- Building Adjacent
- Building
- Roof Overhang
- FEMA 100 Yr Floodplain
- Soil Boundary with Soil Types
- Spot Elevation
- Storm Sewer Inlet
- Storm Sewer Headwall
- Manhole
- Dry Stone Retaining Wall
- Signs
- Trees
- Existing Cistern
- Existing Curb
- Conc. Pav.
- Existing Concrete Paving
- Fnc.
- Existing Fence
- Genp.
- Existing Generator on Concrete Pad
- Open Space
- Existing Open Space Area
- Ramp
- Existing Ramp
- Sptic.
- Existing Septic
- Stair
- Existing Stairs
- Stair
- Existing Stairs and Landing
- Xcap.
- Existing Transformer on Concrete Pad
- Existing Power Pole
- PROPOSED BUILDING
- PROPOSED PEDESTRIAN UNIT PAVERS
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE PAVING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PERMEABLE PAVERS
- PROPOSED PERMANENT TURF REINFORCEMENT MATTING
- PROPOSED ROCK STABILIZATION BLANKET
- PROPOSED CONTOUR
- NEW SPOT GRADE
- PARKING SPACES
- PROPOSED MANHOLE
- PROPOSED OUTLET STRUCTURE
- PROPOSED SEDIMENT TRAP
- PROPOSED STORM LINE
- PROPOSED SANITARY LINE
- FM
- PROPOSED SANITARY FORCE MAIN
- W
- PROPOSED WATER LINE
- RW
- PROPOSED RECYCLED WATER LINE
- E
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND STORM WATER MANAGEMENT AREA
- PROPOSED VERTICAL STONE INTERCEPTOR DRAIN
- PROPOSED TRENCH DRAIN
- PROPOSED END WALL
- LOD/TFP
- LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
- LOD/SSF
- LIMIT OF DISTURBANCE/SILT FENCE
- LOD
- LIMIT OF DISTURBANCE



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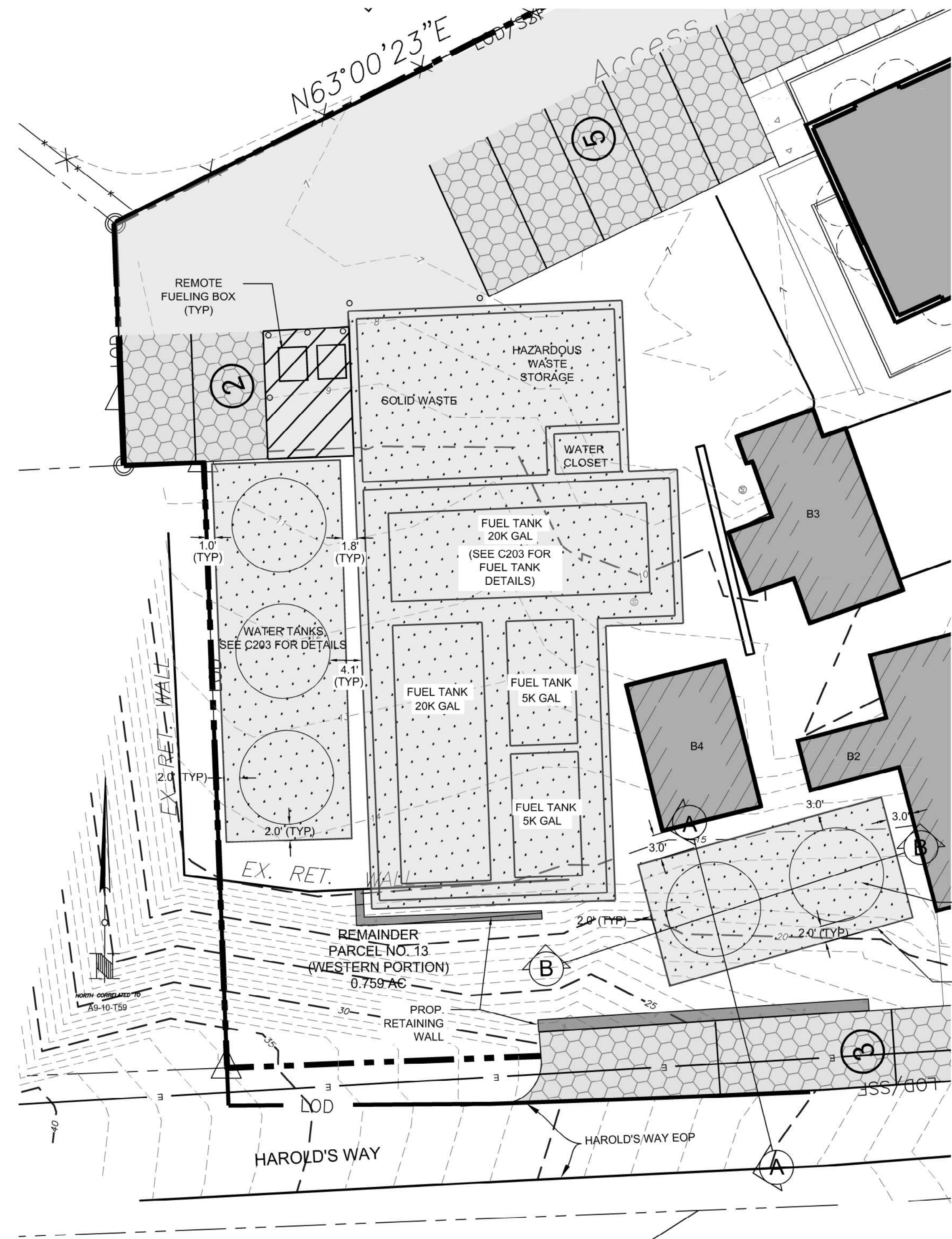
ST. JOHN MARINA
 CORAL HARBOR
 St. John, U.S. Virgin Islands

SITE PLAN
 REMAINDER PARCEL NO. 13
 (WESTERN PORTION)

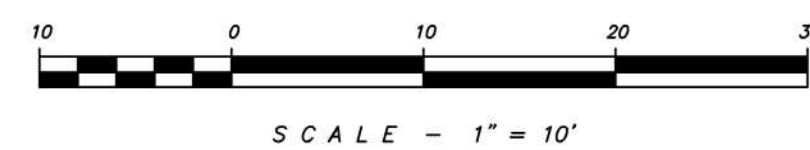
Designed By: MKD
 Drawn By: MKD
 Checked By: JLB
 Scale: 1" = 20'
 Date: 08/11/2017
 Revised:

Project Number: 16X065
C201

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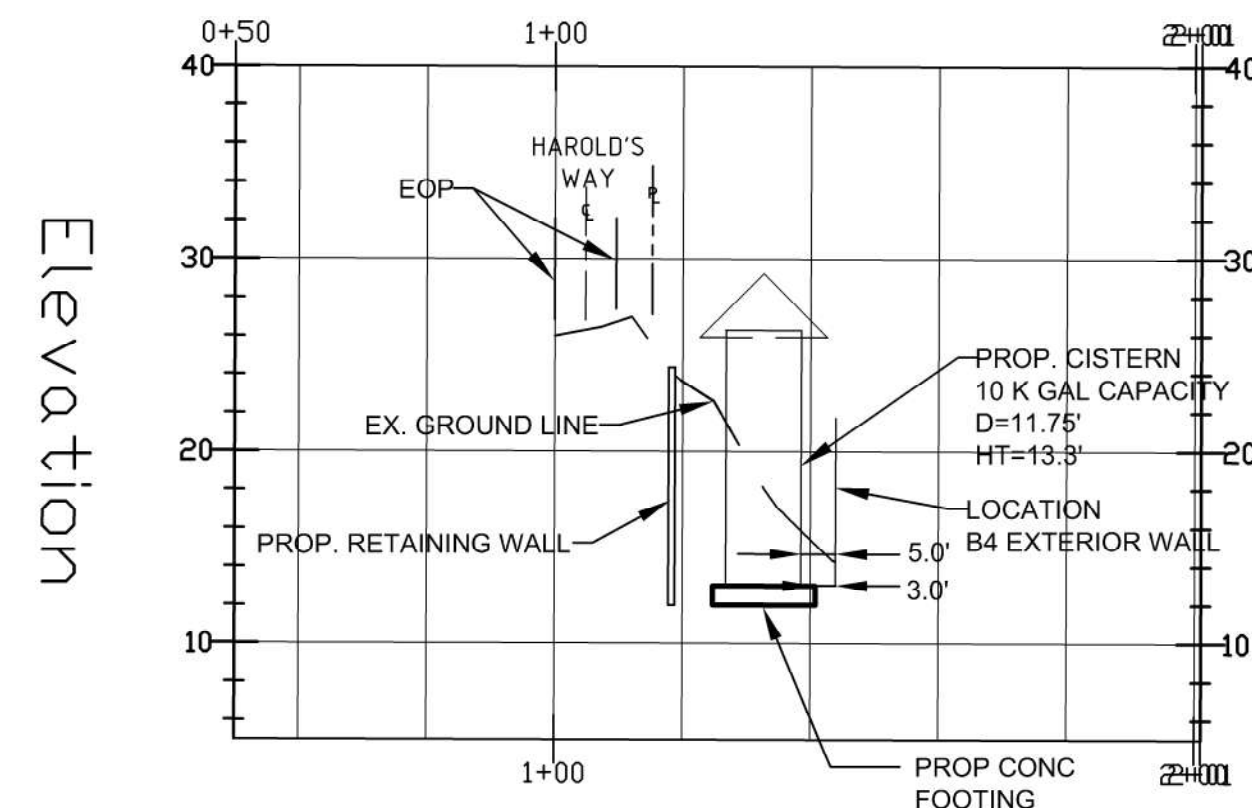


PROPOSED POTABLE WATER CISTERN
PLAN VIEW



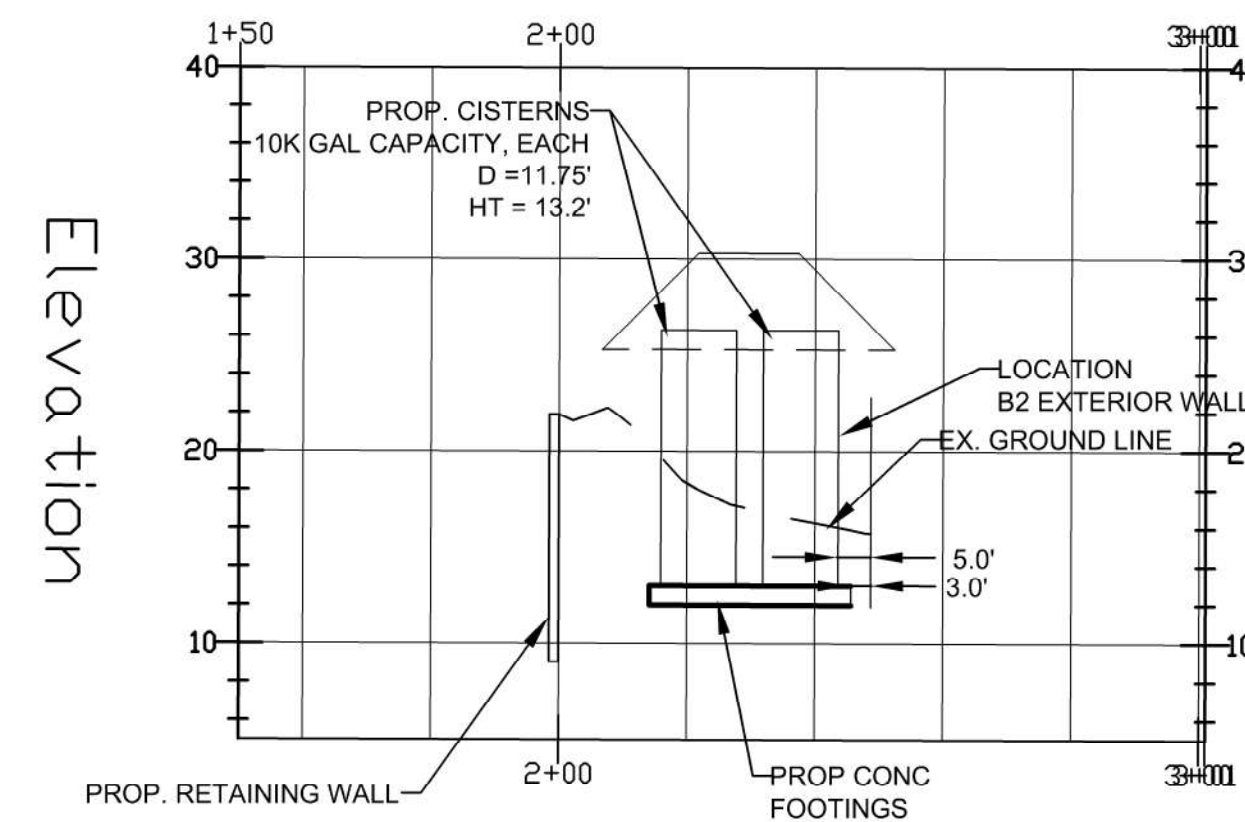
WATER TANK
10K GAL
D = 11.75'
HT. = 13.3'
(TYP)

WATER TANK
CONC. FOOTING
12" THICK



Station

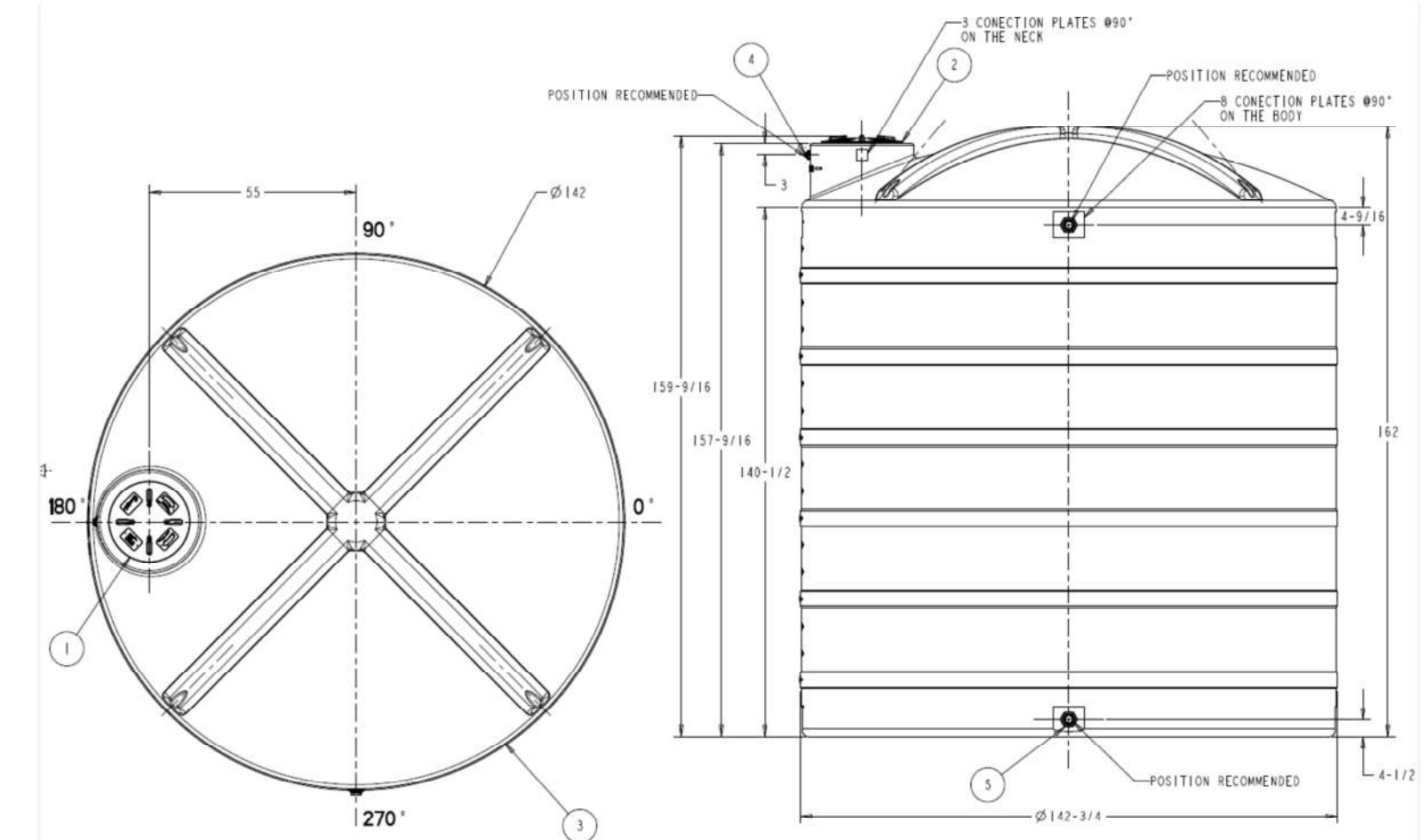
CISTERN
PROPOSED POTABLE WATER CISTERN
SECTION VIEW A-A



Station

CISTERN
PROPOSED POTABLE WATER CISTERN
SECTION VIEW B-B

PROFILE SCALE:
H: 1" = 30'
V: 1" = 3'



NO	QTY	CODE	DESCRIPTION	MATERIALS	OBSERVATIONS
1	1	A-D-142	18" CAP ROTOPLAS	PP	BLACK COLOR
2	1	A-D-235	18" CAP RING ROTOPLAS	PP	BLACK COLOR
3	1	R-D-141	10,000 GAL VERTICAL TANK 2G	HDPE	
4	1	TF-075	3/4" BULKHEAD TANK FITTING BANJO	PP	BLACK COLOR
5	2	TF-200	2" BULKHEAD TANK FITTING BANJO	PP	BLACK COLOR

CISTERN DETAIL
10,000 GAL



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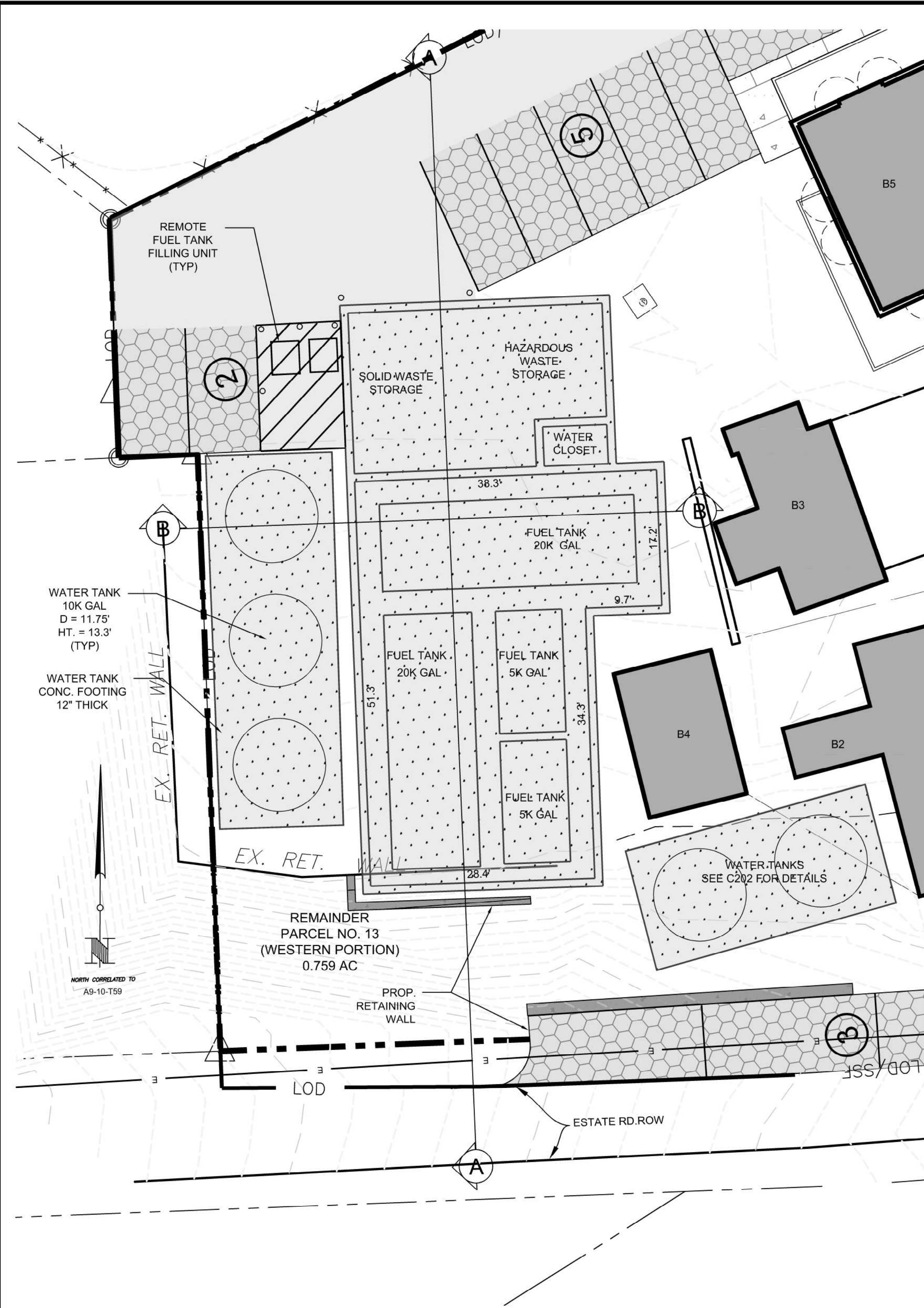


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CORAL HARBOR
St. John, U.S. Virgin Islands

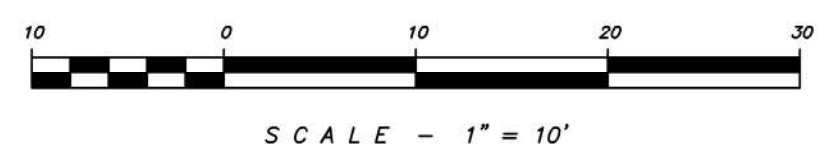
PLAN & SECTION VIEW
WATER CISTERN
PARCEL REM 13 (WESTERN PORTION)

Designed By: BJL
Drawn By: MKD
Checked By: JLB
Scale: 1" = 10'
Date: 08/11/2017
Revised:
Project Number: 16X065

C202

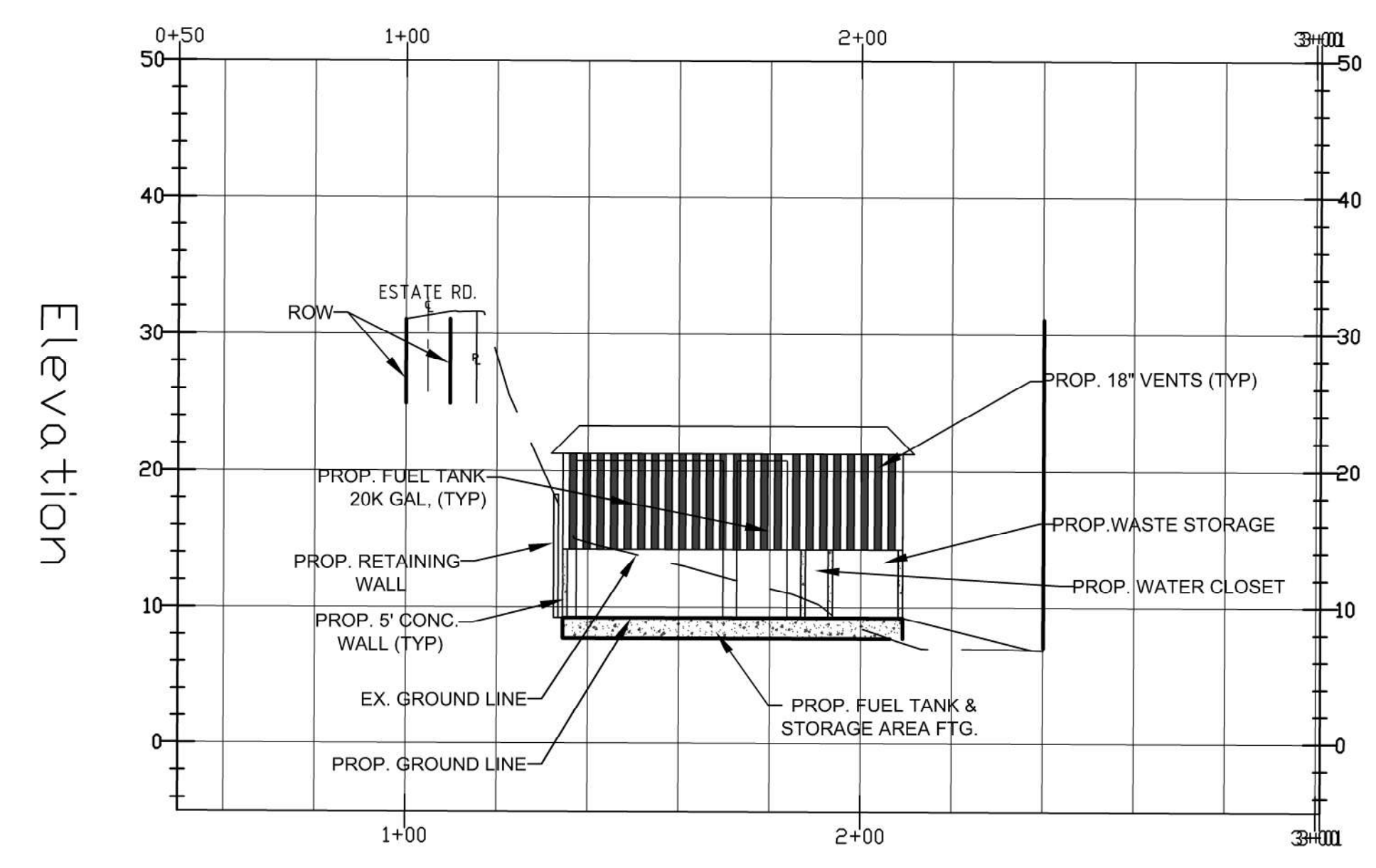


**PROPOSED FUEL TANKS & STORAGE AREAS
PLAN VIEW**

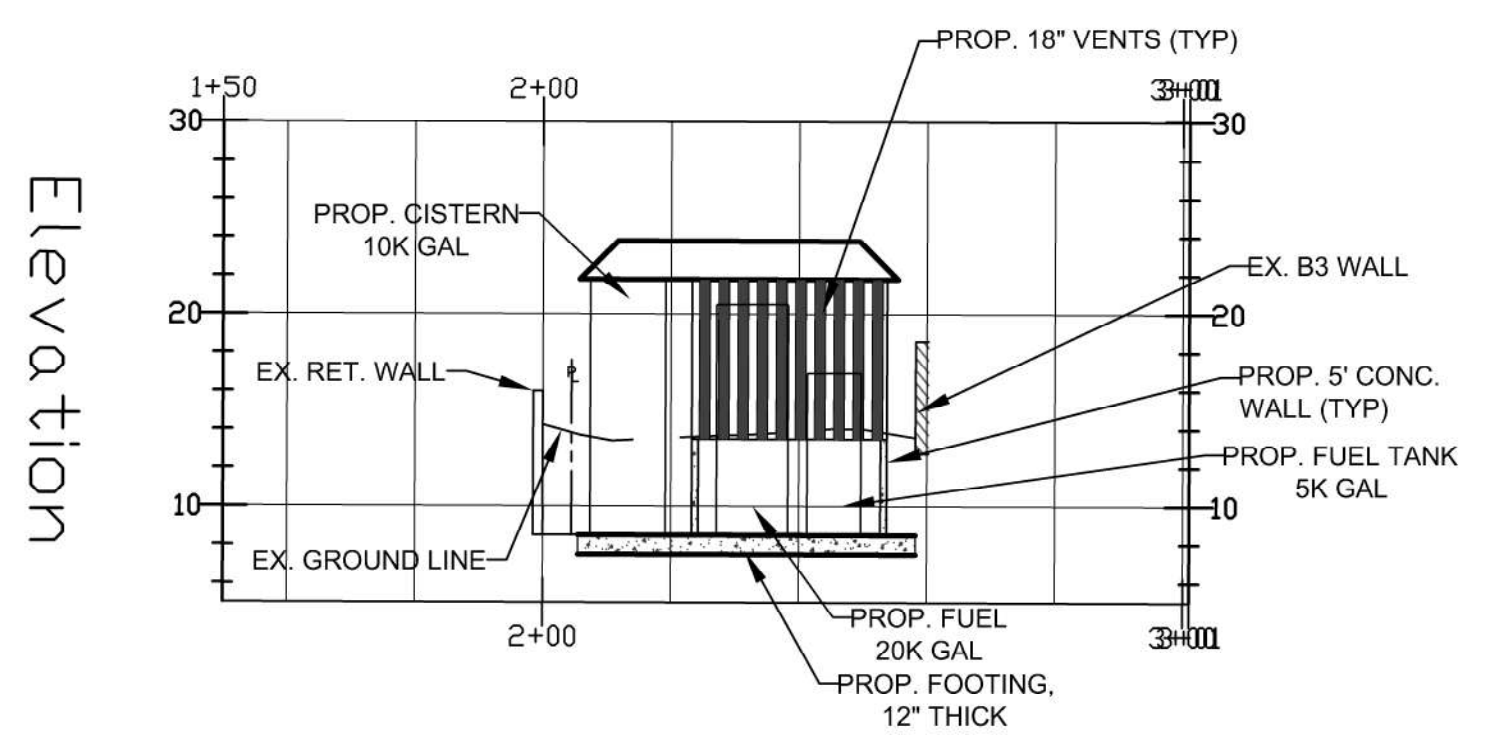


NOTE:
 REQUIRED OVERFLOW CONTAINMENT VOLUME SHALL BE EQUAL TO OR GREATER THAN 110% OF TOTAL FUEL TANK VOLUME.

TOTAL FUEL TANK VOLUME: 50,000 GAL
 110% OF TOTAL FUEL VOLUME: 55,000 GAL
 CUBIC FEET VOLUME EQUIVALENT: 55,000 GAL/7.48 GAL/CF = 7,353 CF
 VOLUME PROVIDED: 1,630 SF X 5 FT HEIGHT = 8,150 CF



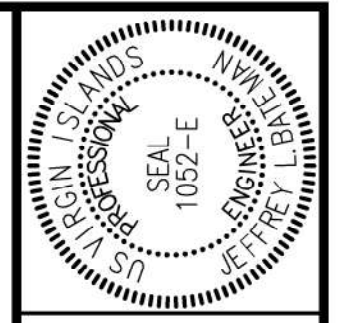
Station
FUEL TANK & STORAGE AREA
PROPOSED FUEL TANKS & STORAGE AREAS
SECTION VIEW A-A



Station
CISTERN & FUEL TANK
PROPOSED FUEL TANKS & STORAGE AREAS
SECTION VIEW B-B

PROFILE SCALE:
 H: 1" = 30"
 V: 1" = 3"

PRELIMINARY FOR REVIEW ONLY



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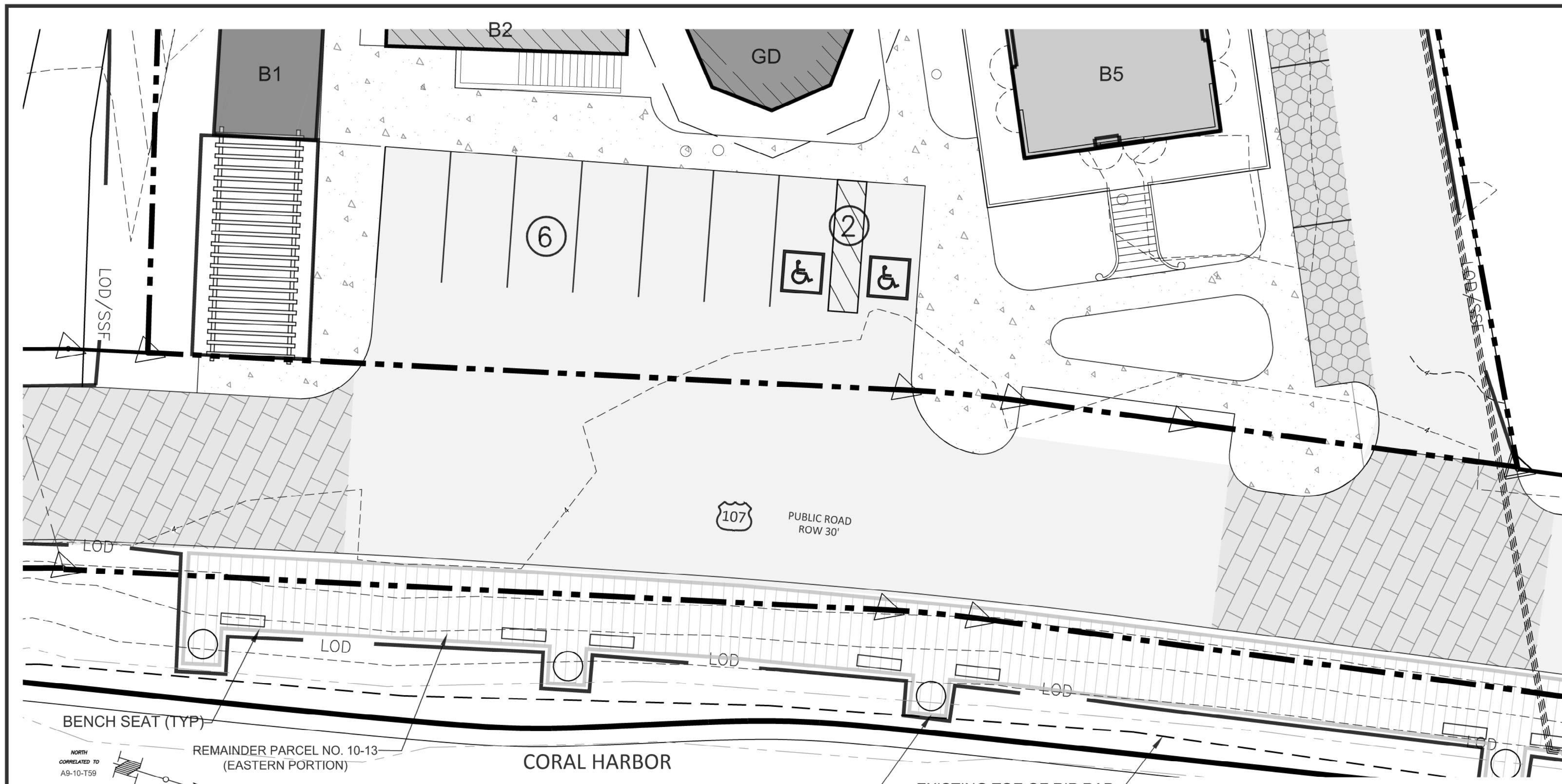


ST. JOHN MARINA
 CORAL HARBOR
 St. John, U.S. Virgin Islands

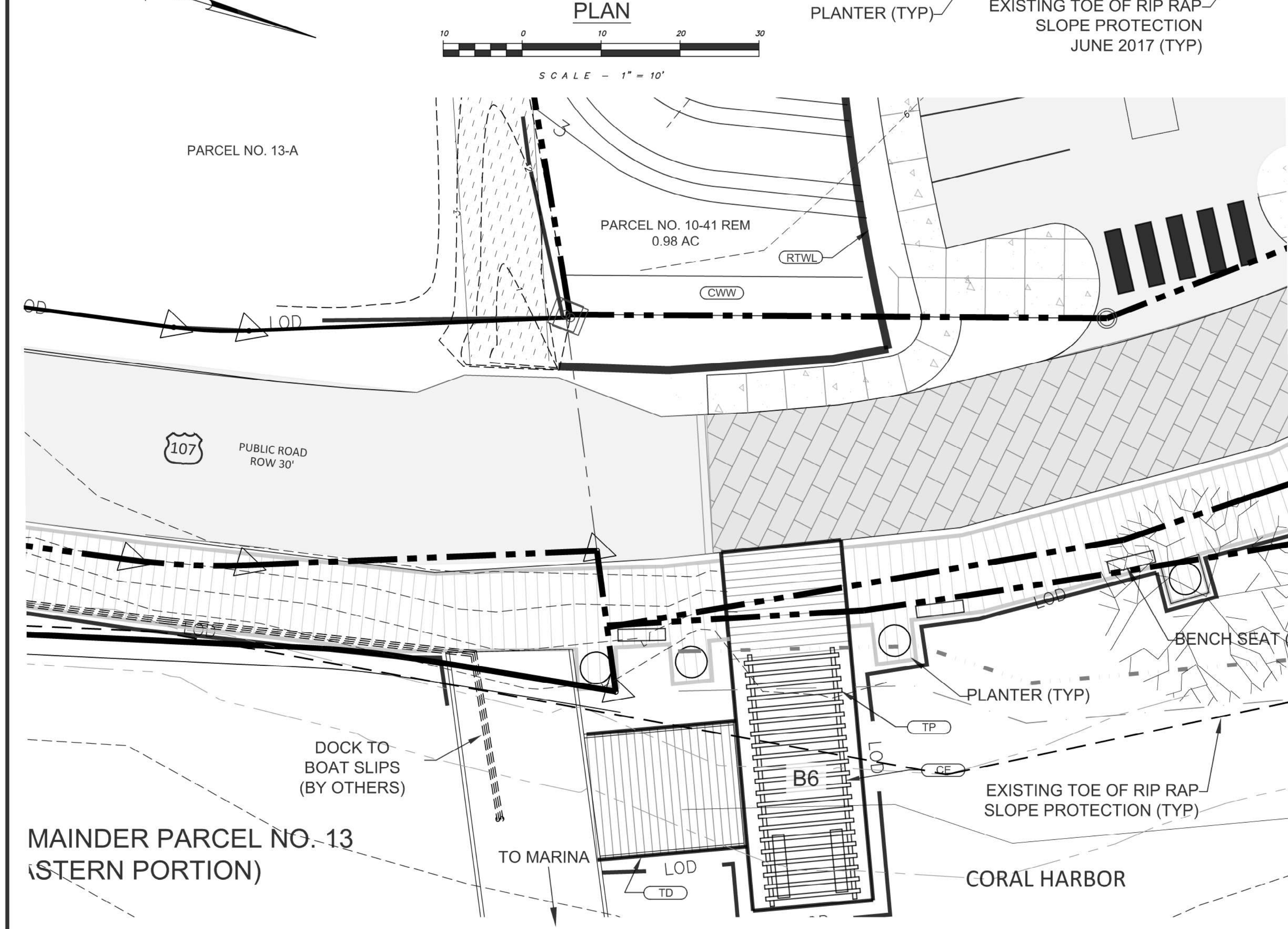
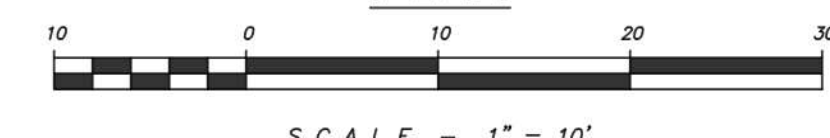
PLAN & SECTION VIEW
FUEL TANKS & STORAGE AREA
PARCEL REM 13 (WESTERN PORTION)

Designed By:	BJK
Drawn By:	MKD
Checked By:	RAJ
Scale:	1" = 10'
Date:	08/11/2017
Revised:	
①	
②	
③	
④	
⑤	
Project Number:	16X065

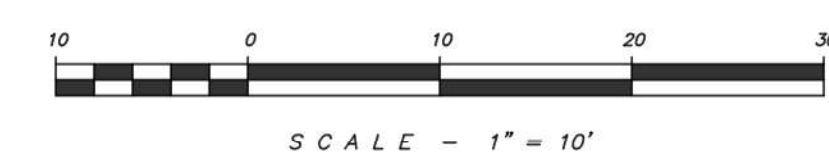
C203



CORAL HARBOR PLAN



PLAN



GENERAL NOTES:

- CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANY COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
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KEY

- (CE) PROVIDE COVERED ENTRANCE
- (E) PROVIDE UNDERGROUND ELECTRIC LINE
- (EJB) PROVIDE UNDERGROUND ELECTRIC JUNCTION BOX
- (TD) PROVIDE TYPICAL DOCK BECKING
- (TP) PROVIDE TIMBER PERGOLA
- (ADA) PROVIDE ADA PARKING SPACES
- (C) PROVIDE CONCRETE PAVING
- (CWW) PROVIDE CONCRETE PAVED WALKWAY
- (L) PROVIDE LANDSCAPE AREA
- (FM) PROVIDE FORCE MAIN
- (LTOA) PROVIDE LOADING AND TAXI QUEING AREA
- (EB) EXISTING BUILDING

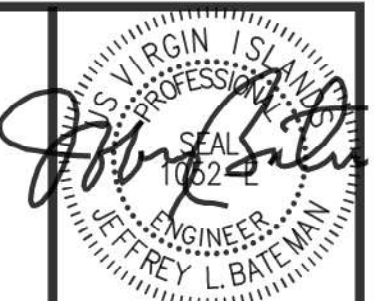
ZONING SCHEDULE PARCEL NUMBER REMAINDER 10-13			
EASTERN PORTION 0.133 AC			
W-1 WATERFRONT PLEASURE DISTRICT			
DESCRIPTION	PERMITTED	EXISTING	PROPOSED
LOT AREA (MIN)	10,000 SF	5,800 SF	5,800 SF
LOT OCCUPANCY (MAX)	40%	0 SF; 0%	455 SF; 8%
LOT OPEN SPACE (MIN)	30%	5,800; 100%	5,345 SF; 92%
LOT DENSITY (MAX)	N/A	N/A	N/A
LOT WIDTH (MIN)	100 FT	411.02 FT	411.02 FT
FRONT YARD SETBACK (MIN)	25 FT	N/A (2)	N/A (2)
SIDE YARD SETBACK (MIN)	10 FT	N/A (2)	N/A (2)
REAR YARD SETBACK (MIN)	20 FT	N/A (2)	N/A (2)

- HOUSING NOT PROPOSED.
- MARINA DEVELOPMENT.

ZONING BUILDING HEIGHT SCHEDULE			
ID	EXISTING HEIGHT	PROPOSED HEIGHT	PERMITTED HEIGHT
B6	N/A	1 STORY	3 STORY

LEGEND

- Shore Line
- Right of Way Line
- Storm Sewer Pipe
- Fence Line
- Contour
- ▨ Building Adjacent
- ▭ Building
- Roof Overhang
- FEMA 100 Yr Floodplain
- Soil Boundary with Soil Types
- Spot Elevation
- Storm Sewer Inlet
- Storm Sewer Headwall
- Manhole
- Dry Stone Retaining Wall
- Signs
- Trees
- Clst. Existing Clster
- Existing Curb
- Conc. Pvg. Existing Concrete Paving
- Fnc. Existing Fence
- Genp. Existing Generator on Concrete Pad
- Open Space Existing Open Space Area
- Ramp Existing Ramp
- Spct. Existing Septic
- Strs. Existing Stairs
- Slp. Existing Stairs and Landing
- Trsp. Existing Transformer on Concrete Pad
- Existing Power Pole
- ▨ PROPOSED BUILDING
- ▨ PROPOSED PEDESTRIAN UNIT PAVERS
- ▨ PROPOSED LANDSCAPE AREA
- ▨ PROPOSED CONCRETE PAVING
- ▨ PROPOSED CONCRETE SIDEWALK
- ▨ PROPOSED PERMEABLE PAVERS
- ▨ PROPOSED PERMANENT TURF REINFORCEMENT MATTING
- ▨ PROPOSED ROCK STABILIZATION BLANKET
- PROPOSED CONTOUR
- xx NEW SPOT GRADE
- PARKING SPACES
- PROPOSED MANHOLE
- PROPOSED OUTLET STRUCTURE
- PROPOSED SEDIMENT TRAP
- SD PROPOSED STORM LINE
- SS PROPOSED SANITARY LINE
- FM PROPOSED SANITARY FORCE MAIN
- W PROPOSED WATER LINE
- RW PROPOSED RECYCLED WATER LINE
- E PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND STORM WATER MANAGEMENT AREA
- PROPOSED VERTICAL STONE INTERCEPTOR DRAIN
- PROPOSED TRENCH DRAIN
- PROPOSED END WALL
- LOD/TP LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
- LOD/SSF LIMIT OF DISTURBANCE/SILT FENCE
- LOD LIMIT OF DISTURBANCE



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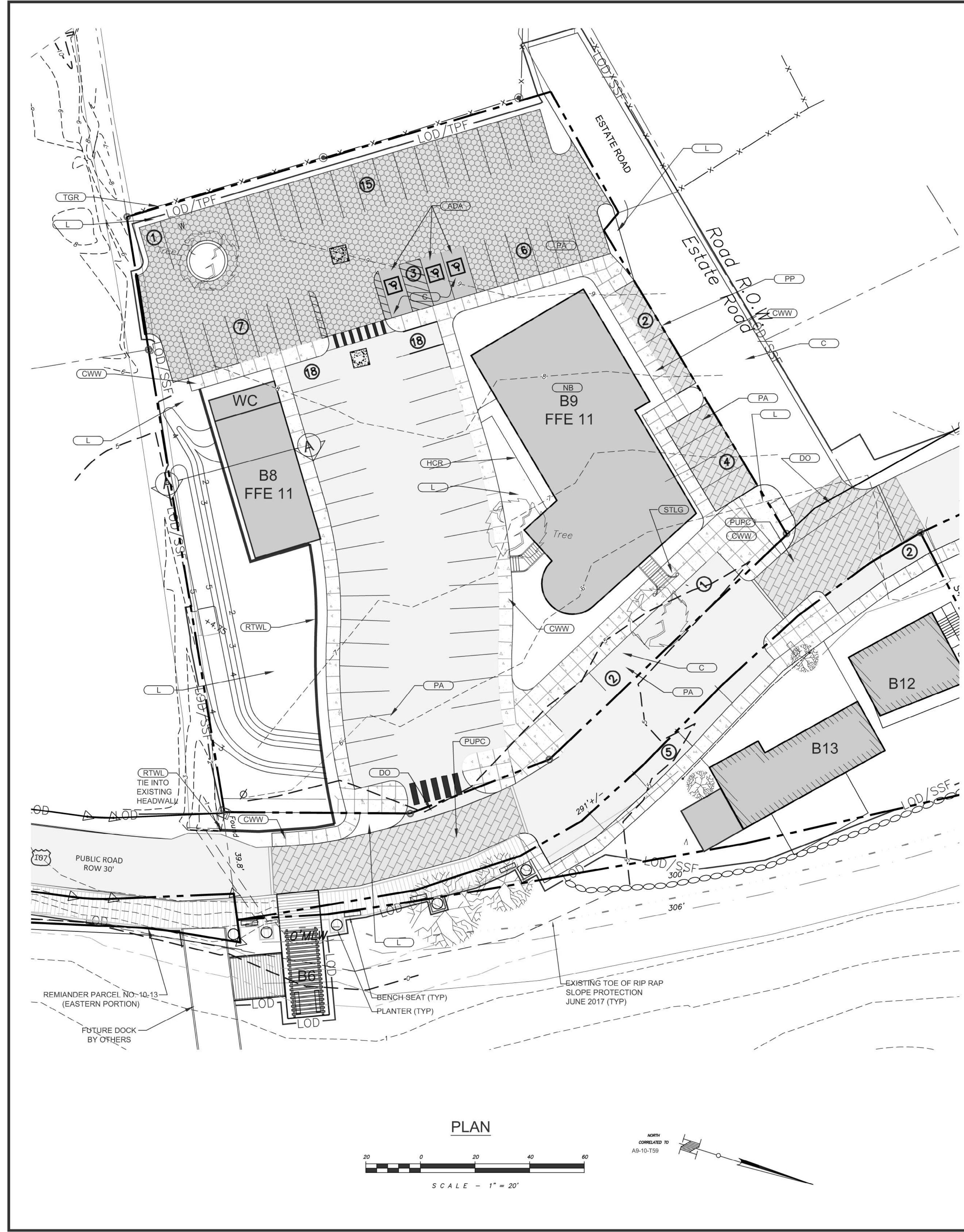
ST. JOHN MARINA
 CORAL HARBOR
 St. John, U.S. Virgin Islands

SITE PLAN
 REMAINDER PARCEL NO. 13
 (EASTERN PORTION)

Designed By: MKD
 Drawn By: JWP/MKD
 Checked By: JLB
 Scale: 1" = 10'
 Date: 08/11/2017
 Revised:

Project Number: 16X065
C204

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ZONING SCHEDULE PARCEL 10-41 REM

0.98 AC

B-3 BUSINESS-SCATTERED DISTRICT

DESCRIPTION	PERMITTED	EXISTING	PROPOSED
LOT AREA (MIN); BUSINESS	3,000 SF	42,689 SF	42,689 SF
LOT AREA (MIN); RESIDENTIAL	N/A	42,689 SF	42,689 SF
LOT OCCUPANCY (MAX)	60%	9,774 SF; 33%	6,145 SF; 14%
LOT OPEN SPACE (MIN)	30%	32,915; 77%	17,925 SF; 42%
LOT DENSITY (MAX) (1)	N/A	N/A	N/A
LOT WIDTH (MIN)	N/A	243.1 FT	243.1 FT
FRONT YARD SETBACK (MIN)	N/A	39.4 FT	28.5 FT
SIDE YARD SETBACK (MIN); BUSINESS (1)	5 FT	5 FT	17.5 FT
REAR YARD SETBACK (MIN); BUSINESS	10 FT	132.8 FT	68 FT
REAR YARD SETBACK (MIN); RESIDENTIAL	5 FT	132.8 FT	68 FT
GHUT SETBACK (MIN)	25 FT (C/L)	170.4 FT	25.7 FT

ZONING BUILDING HEIGHT SCHEDULE

ID	EXISTING HEIGHT	PROPOSED HEIGHT	PERMITTED HEIGHT
B8	N/A	1 STORY	2 OR 3 STORIES (1)
B9	N/A	1 STORY	2 OR 3 STORIES (1)

(1) RESIDENTIAL OR COMBINED RESIDENTIAL AND COMMERCIAL STRUCTURES MAY BE 3 STORIES IN HEIGHT

GENERAL NOTES:

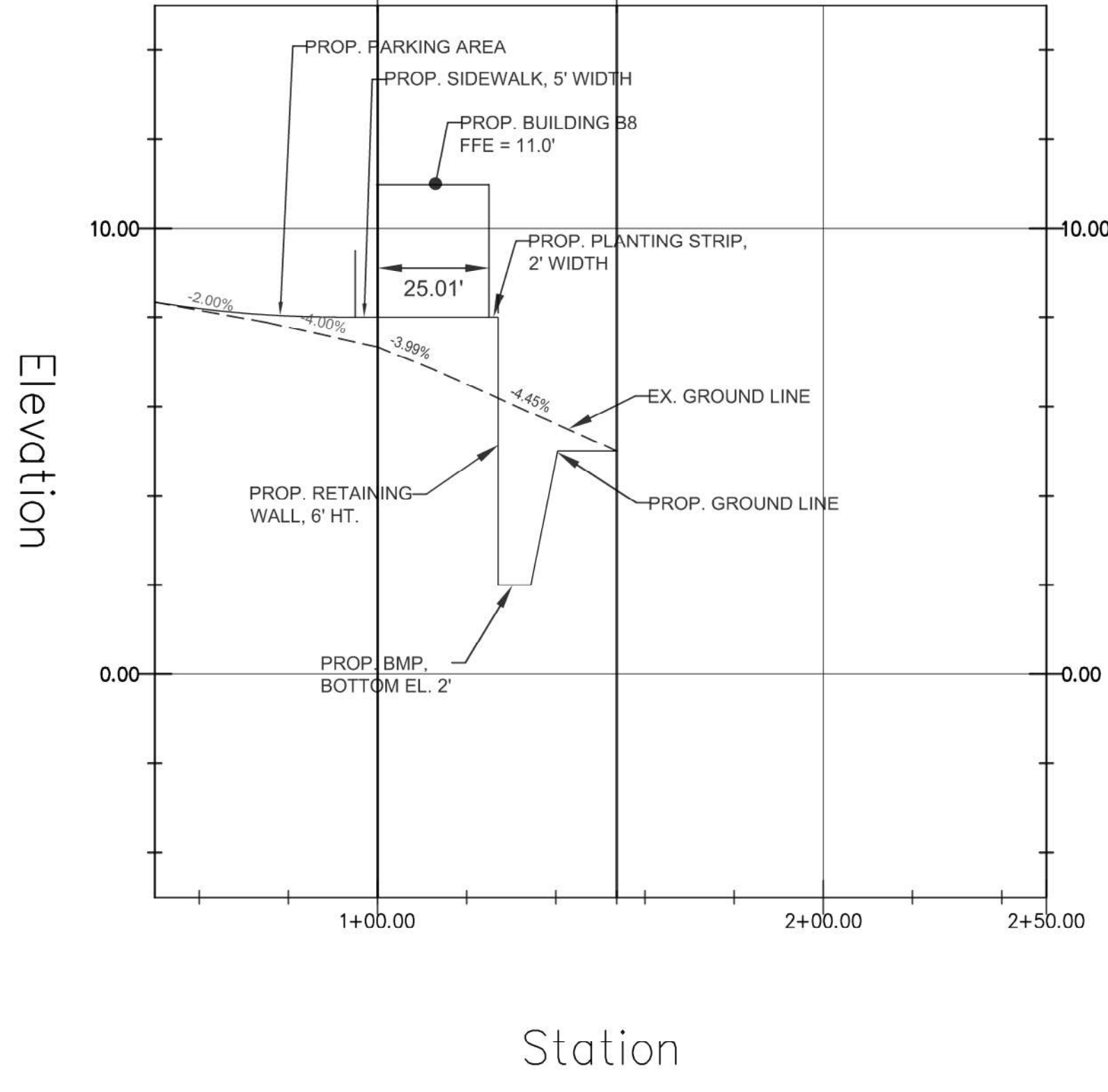
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KEY

- ADA PROVIDE ADA PARKING SPACES
- C PROVIDE CONCRETE PAVING
- CWW PROVIDE CONCRETE PAVED WALKWAY
- DO PROVIDE DRIVEWAY OPENING
- DWBS PROVIDE DOMESTIC WATER BUILDING SERVICE
- E PROVIDE UNDERGROUND ELECTRIC LINE
- EJB PROVIDE UNDERGROUND ELECTRIC JUNCTION BOX
- L PROVIDE LANDSCAPE AREA
- LYOA PROVIDE LOADING & TAXI QUEUING AREA
- NB NEW BUILDING
- PA PROVIDE PARKING
- PP PROVIDE PERMEABLE PAVERS
- PUPC PROVIDE RAISE PEDESTRIAN UNIT PAVEMENT CROSSWALK
- RTWL PROVIDE RETAINING WALL
- RTWL PROVIDE RETAINING WATER LINE
- STLG PROVIDE STAIRS & LANDING
- TEE PROVIDE TEE FITTING
- WC PROVIDE POTABLE WATER CISTERN
- WC PROVIDE RECYCLED WATER CISTERN
- WWTP PROVIDE WASTEWATER TREATMENT PLANT
- FM PROVIDE FORCE MAIN
- TGR TIMBER GUIDE RAIL
- PW PROVIDE NEW RECYCLED WATER CISTERN, ABOVE GROUND
- WC WATER CLOSET
- GEN GENERATOR
- HCR PROVIDE HANDICAP ACCESSIBLE RAMP

LEGEND

- Shore Line
- Right of Way Line
- Storm Sewer Pipe
- Fence Line
- Contour
- Building Adjacent
- Building
- Roof Overhang
- FEMA 100 Yr Floodplain
- Soil Boundary with Soil Types
- Spot Elevation
- Storm Sewer Inlet
- Storm Sewer Headwall
- Manhole
- Dry Stone Retaining Wall
- Signs
- Trees
- Existing Cistern
- Existing Curb
- Existing Concrete Paving
- Existing Fence
- Existing Generator on Concrete Pad
- Open Space
- Ramp
- Spot
- Existing Septic
- Existing Stairs
- Existing Stairs and Landing
- Existing Transformer on Concrete Pad
- Existing Power Pole
- PROPOSED BUILDING
- PROPOSED PEDESTRIAN UNIT PAVERS
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE PAVING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PERMEABLE PAVERS
- PROPOSED PERMANENT TURF REINFORCEMENT MATTING
- PROPOSED ROCK STABILIZATION BLANKET
- PROPOSED CONTOUR
- NEW SPOT GRADE
- PARKING SPACES
- PROPOSED MANHOLE
- PROPOSED OUTLET STRUCTURE
- PROPOSED SEDIMENT TRAP
- PROPOSED STORM LINE
- PROPOSED SANITARY LINE
- PROPOSED SANITARY FORCE MAIN
- PROPOSED WATER LINE
- PROPOSED RECYCLED WATER LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND STORM WATER MANAGEMENT AREA
- PROPOSED VERTICAL STONE INTERCEPTOR DRAIN
- PROPOSED TRENCH DRAIN
- PROPOSED END WALL
- LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE/SILT FENCE
- LIMIT OF DISTURBANCE



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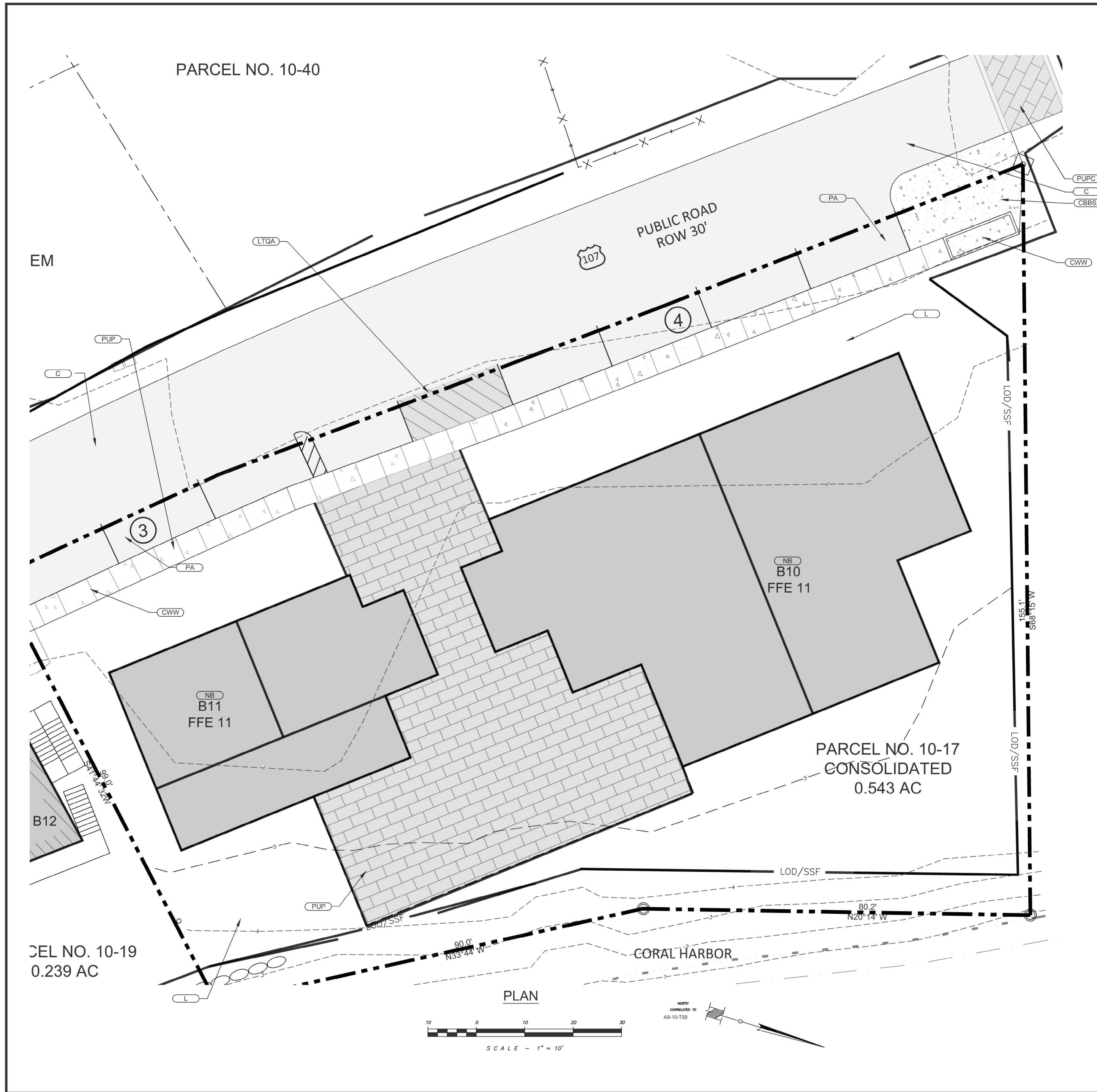
ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

SITE PLAN
PARCEL NO. 10-41
REMAINDER

Designed By: MKD
Drawn By: MKD
Checked By: RAJ
Scale: 1" = 20'
Date: 08/11/2017
Revised:

Project Number: 16X065

C205



GENERAL NOTES:

1. CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANT COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

- KEY**
- ADA PROVIDE ADA PARKING SPACES
 - C PROVIDE CONCRETE PAVING
 - CBBS PROVIDE CONCRETE BLOCK BUS STOP
 - CWW PROVIDE CONCRETE PAVED WALKWAY
 - L PROVIDE LANDSCAPE AREA
 - LTQA PROVIDE LOADING & TAXI QUEUING AREA
 - NB NEW BUILDING
 - PA PROVIDE PARKING
 - PP PROVIDE PERMEABLE PAVERS
 - PUP PROVIDE PEDESTRIAN UNIT PAVES
 - PUPC PROVIDE RAISE PEDESTRIAN UNIT PAVES CROSSWALK
 - RW PROVIDE RECYCLED WATER LINE
 - TEE PROVIDE TEE FITTING
 - WCP PROVIDE POTABLE WATER CISTERN
 - WCR PROVIDE RECYCLED WATER CISTERN
 - WWTP PROVIDE WASTEWATER TREATMENT PLANT
 - FM PROVIDE FORCE MAIN
 - GEN GENERATOR

ZONING SCHEDULE PARCEL NUMBER 10-17
CONSOLIDATED -0.543 AC

W-1 WATERFRONT PLEASURE DISTRICT

DESCRIPTION	PERMITTED	EXISTING	PROPOSED
LOT AREA (MIN)	10,000 SF	23,653 SF	23,653 SF
LOT OCCUPANCE (MAX)	40%	N/A	7,240 SF; 31%
LOT OPEN SPACE (MIN)	30%	0 SF; 100%	16,413; 69%
LOT DENSITY (MAX)	N/A	N/A	N/A
LOT WIDTH (MIN)	100 FT	228.5 FT	228.5 FT
FRONT YARD SETBACK (MIN)	25 FT	N/A	26.9 FT
SIDE YARD SETBACK (MIN)	10 FT	N/A	10 FT
REAR YARD SETBACK (MIN)	20 FT	N/A	29.5 FT

ZONING BUILDING HEIGHT SCHEDULE

ID	EXISTING HEIGHT	PROPOSED HEIGHT	PERMITTED HEIGHT
B10	N/A	3 STORIES	3 STORIES
B11	N/A	3 STORIES	3 STORIES

- LEGEND**
- Shore Line
 - Right of Way Line
 - Storm Sewer Pipe
 - Fence Line
 - Contour
 - Building Adjacent
 - Building
 - Roof Overhang
 - FEMA 100 Yr Floodplain
 - Soil Boundary with Soil Types
 - Spot Elevation
 - Storm Sewer Inlet
 - Storm Sewer Headwall
 - Manhole
 - Dry Stone Retaining Wall
 - Signs
 - Trees
 - Existing Cleat
 - Existing Curb
 - Existing Concrete Paving
 - Existing Fence
 - Existing Generator on Concrete Pad
 - Existing Open Space Area
 - Existing Ramp
 - Existing Septic
 - Existing Stairs
 - Existing Stairs and Landing
 - Existing Transformer on Concrete Pad
 - Existing Power Pole
 - PROPOSED BUILDING
 - PROPOSED PEDESTRIAN UNIT PAVERS
 - PROPOSED LANDSCAPE AREA
 - PROPOSED CONCRETE PAVING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED PERMEABLE PAVERS
 - PROPOSED PERMANENT TURF REINFORCEMENT MATING
 - PROPOSED ROCK STABILIZATION BLANKET
 - PROPOSED CONTOUR
 - NEW SPOT GRADE
 - PARKING SPACES
 - PROPOSED MANHOLE
 - PROPOSED OUTLET STRUCTURE
 - PROPOSED SEDIMENT TRAP
 - PROPOSED STORM LINE
 - PROPOSED SANITARY LINE
 - PROPOSED SANITARY FORCE MAIN
 - PROPOSED WATER LINE
 - PROPOSED RECYCLED WATER LINE
 - PROPOSED UNDERGROUND ELECTRIC LINE
 - PROPOSED UNDERGROUND STORM WATER MANAGEMENT AREA
 - PROPOSED VERTICAL STONE INTERCEPTOR DRAIN
 - PROPOSED TRENCH DRAIN
 - PROPOSED END WALL
 - LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
 - LIMIT OF DISTURBANCE/SILT FENCE
 - LIMIT OF DISTURBANCE



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 St. John, U.S. Virgin Islands

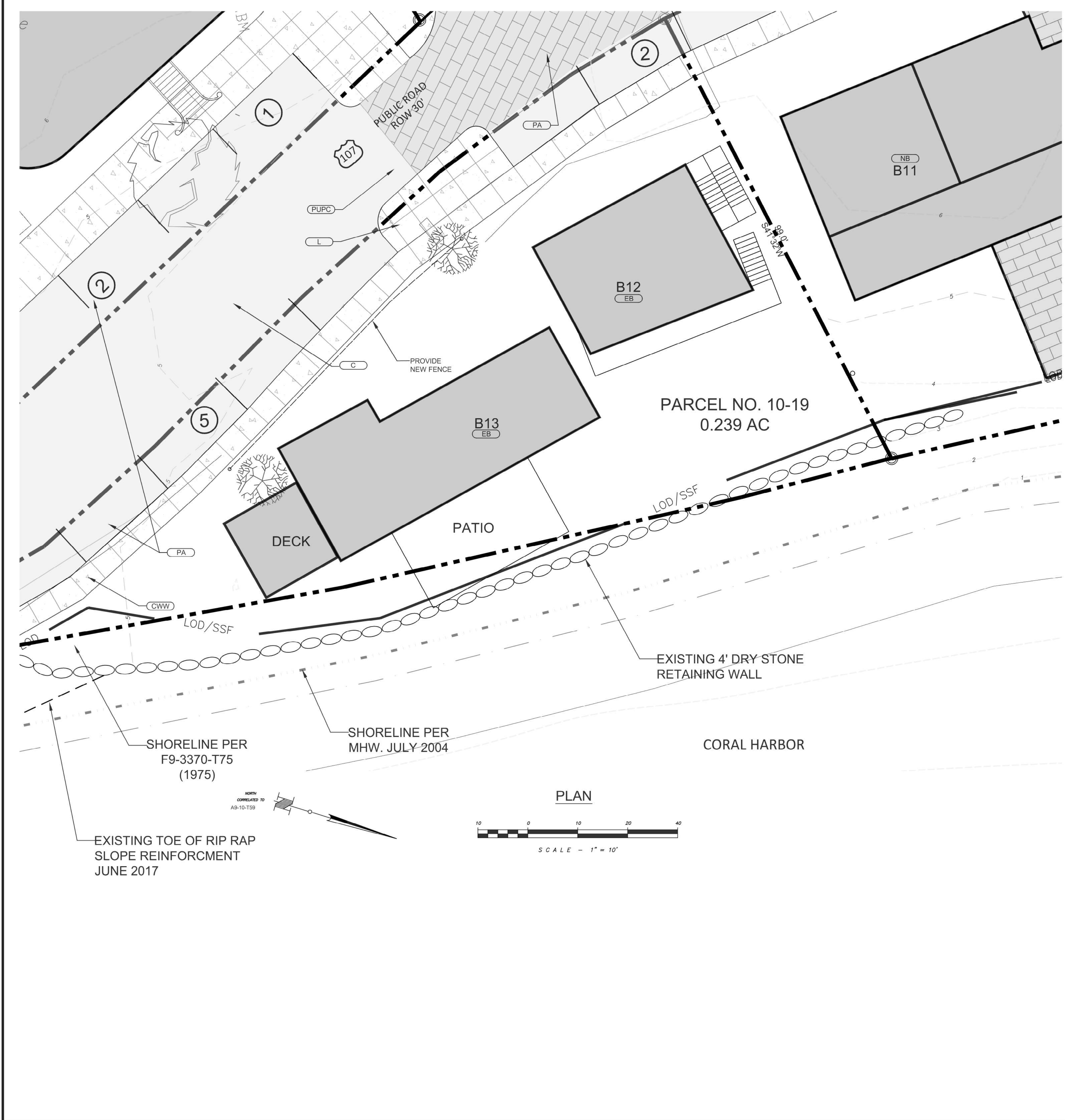
**SITE PLAN
 PARCEL NO. 10-17
 CONSOLIDATED**

Designed By: MKD
 Drawn By: MKD
 Checked By: RAJ
 Scale: 1" = 10'
 Date: 08/11/2017

- 1
- 2
- 3
- 4
- 5

Project Number: 16X065
C206

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GENERAL NOTES:

- CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANT COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

ZONING SCHEDULE PARCEL NUMBER 19-.239 AC			
W-1 WATERFRONT PLEASURE DISTRICT			
DESCRIPTION	PERMITTED	EXISTING	PROPOSED
LOT AREA (MIN)	10,000 SF	23,653 SF	23,653 SF
LOT OCCUPANCY (MAX)	40%	0 SF; 0%	7,240 SF; 31%
LOT OPEN SPACE (MIN)	30%	23,653 SF; 100%	16,413 SF; 69%
LOT DENSITY (MAX)	2 UNITS	N/A	2 UNITS
LOT WIDTH (MIN)	100 FT	291 FT	291 FT
FRONT YARD SETBACK (MIN)	25 FT	17.9 FT*	17.9 FT*
SIDE YARD SETBACK (MIN)	10 FT	9.2 FT*	9.2 FT*
REAR YARD SETBACK (MIN)	20 FT	19.9 FT*	19.9 FT*

* IN ACCORDANCE WITH SECTION 5.103 OF THE DEVELOPMENT CODE, ANY NONCONFORMITY THAT EXISTED ON THE EFFECTIVE DATE SPECIFIED IN SECTION 1.300 OR ANY SITUATION THAT BECOMES NONCONFORMING UPON ADOPTION OF ANY AMENDMENT TO THIS DEVELOPMENT CODE MAY BE CONTINUED IN ACCORDANCE WITH THE REGULATIONS OF THIS ARTICLE UNLESS OTHERWISE EXPRESSLY STATED.

ZONING BUILDING HEIGHT SCHEDULE			
ID	EXISTING HEIGHT	PROPOSED HEIGHT	PERMITTED HEIGHT
B12	2 STORIES	2 STORIES	3 STORIES
B13	1 STORY	1 STORY	3 STORIES

KEY

- ADA PROVIDE ADA PARKING SPACES
- C PROVIDE CONCRETE PAVING
- CWW PROVIDE CONCRETE PAVED WALKWAY
- EB EXISTING BUILDING TO REMAIN
- L PROVIDE LANDSCAPE AREA
- LPGA PROVIDE LOADING & TAXI QUEUING AREA
- NB NEW BUILDING
- PA PROVIDE PARKING
- PP PROVIDE PERMEABLE PAVERS
- PUP PROVIDE PEDESTRIAN UNIT PAVES
- PUPC PROVIDE RAISE PEDESTRIAN UNIT PAVES CROSSWALK
- RW PROVIDE RECYCLED WATER LINE
- TEE PROVIDE TEE FITTING
- W PROVIDE WATER MAIN
- WCP PROVIDE POTABLE WATER CISTERN
- WCR PROVIDE RECYCLED WATER CISTERN
- WWTP PROVIDE WASTEWATER TREATMENT PLANT
- FM PROVIDE FORCE MAIN
- WV PROVIDE WATER VALVE
- GEN PROVIDE GENERATOR

LEGEND

- Shore Line
- Right of Way Line
- Storm Sewer Pipe
- Fence Line
- Contour
- Building Adjacent
- Building
- Roof Overhang
- FEMA 100 Yr Floodplain
- Soil Boundry with Soil Types
- Spot Elevation
- Storm Sewer Inlet
- Storm Sewer Headwall
- Manhole
- Dry Stone Retaining Wall
- Signs
- Trees
- Cist.
- Existing Cistern
- Existing Curb
- Conc. Pvg.
- Existing Concrete Paving
- Fnc.
- Existing Fence
- Gncp.
- Existing Generator on Concrete Pad
- Open Space
- Existing Open Space Area
- Ramp
- Existing Ramp
- Spct.
- Existing Septic
- Strs
- Existing Stairs
- Stig.
- Existing Stairs and Landing
- Xfcp.
- Existing Transformer on Concrete Pad
- Existing Power Pole
- PROPOSED BUILDING
- PROPOSED PEDESTRIAN UNIT PAVERS
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE PAVING
- PROPOSED CONCRETE SIDEWALK
- PROPOSED PERMEABLE PAVERS
- PROPOSED PERMANENT TURF REINFORCEMENT MATTING
- PROPOSED ROCK STABILIZATION BLANKET
- PROPOSED CONTOUR
- NEW SPOT GRADE
- PARKING SPACES
- PROPOSED MANHOLE
- PROPOSED OUTLET STRUCTURE
- PROPOSED SEDIMENT TRAP
- PROPOSED STORM LINE
- PROPOSED SANITARY LINE
- PROPOSED SANITARY FORCE MAIN
- PROPOSED WATER LINE
- PROPOSED RECYCLED WATER LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND STORM WATER MANAGEMENT AREA
- PROPOSED VERTICAL STONE INTERCEPTOR DRAIN
- PROPOSED TRENCH DRAIN
- PROPOSED END WALL
- LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE/SILT FENCE
- LIMIT OF DISTURBANCE



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ST. JOHN MARINA
 CORAL HARBOR
 St. John, U.S. Virgin Islands

SITE PLAN
PARCEL NO. 10-19

Designed By: MKD
 Drawn By: MKD
 Checked By: RAJ
 Scale: 1" = 10'
 Date: 08/11/2017
 Revised:
 ①
 ②
 ③
 ④
 ⑤

Project Number: 16X065
C207

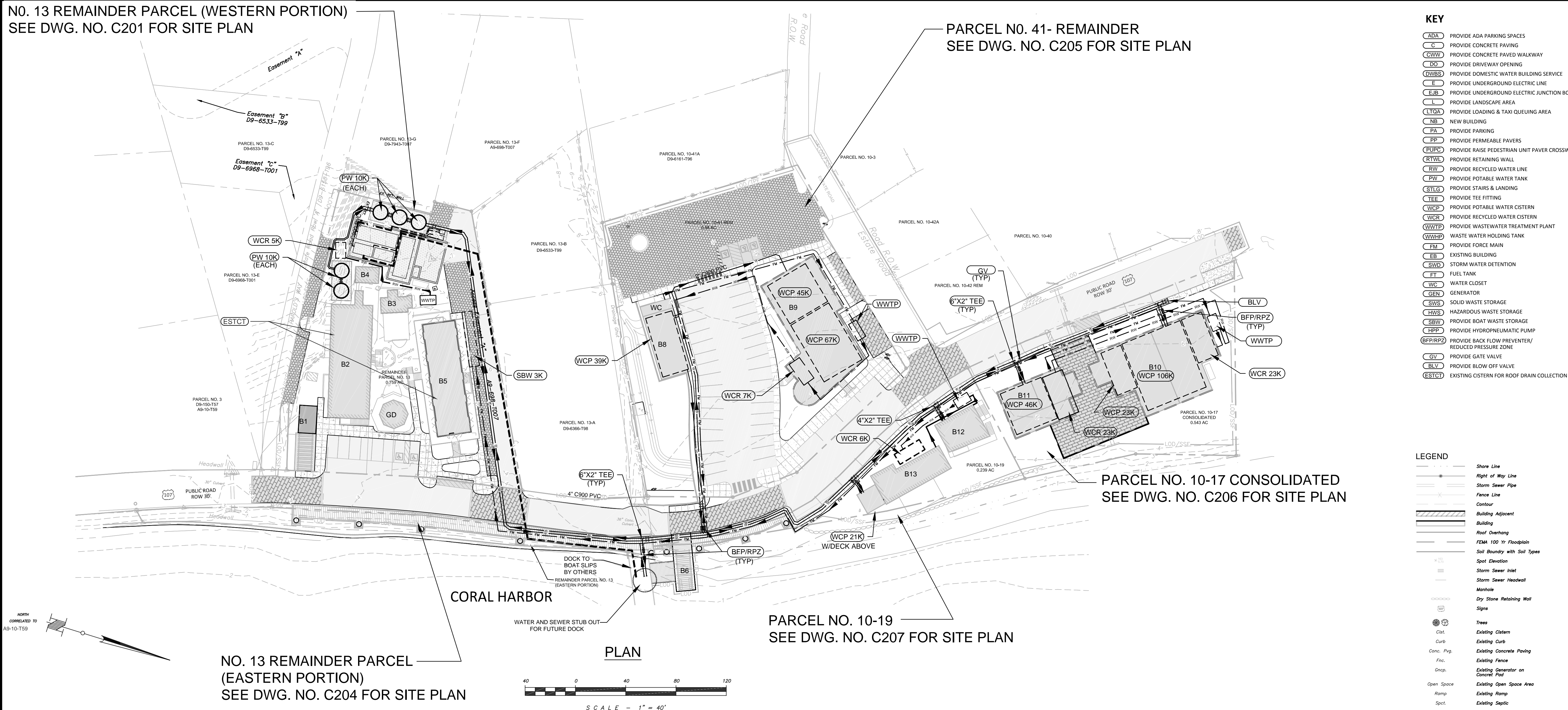
NO. 13 REMAINDER PARCEL (WESTERN PORTION)
SEE DWG. NO. C201 FOR SITE PLAN

PARCEL NO. 41- REMAINDER
SEE DWG. NO. C205 FOR SITE PLAN

NO. 13 REMAINDER PARCEL
(EASTERN PORTION)
SEE DWG. NO. C204 FOR SITE PLAN

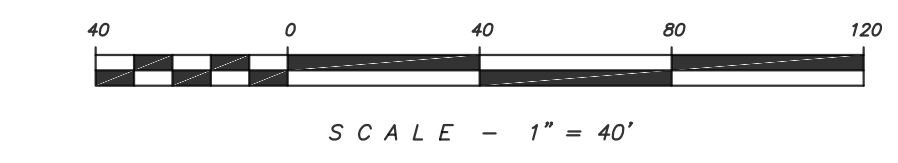
PARCEL NO. 10-17 CONSOLIDATED
SEE DWG. NO. C206 FOR SITE PLAN

PARCEL NO. 10-19
SEE DWG. NO. C207 FOR SITE PLAN



- KEY**
- (ADA) PROVIDE ADA PARKING SPACES
 - (C) PROVIDE CONCRETE PAVING
 - (CWW) PROVIDE CONCRETE PAVED WALKWAY
 - (DO) PROVIDE DRIVEWAY OPENING
 - (DWBS) PROVIDE DOMESTIC WATER BUILDING SERVICE
 - (E) PROVIDE UNDERGROUND ELECTRIC LINE
 - (EJB) PROVIDE UNDERGROUND ELECTRIC JUNCTION BOX
 - (L) PROVIDE LANDSCAPE AREA
 - (LYGA) PROVIDE LOADING & TAXI QUEUING AREA
 - (NB) NEW BUILDING
 - (PA) PROVIDE PARKING
 - (PP) PROVIDE PERMEABLE PAVERS
 - (PURC) PROVIDE RAISE PEDESTRIAN UNIT PAVER CROSSWALK
 - (RWL) PROVIDE RETAINING WALL
 - (RW) PROVIDE RECYCLED WATER LINE
 - (PW) PROVIDE POTABLE WATER TANK
 - (STLG) PROVIDE STARS & LANDING
 - (TEE) PROVIDE TEE FITTING
 - (WCP) PROVIDE POTABLE WATER CISTERN
 - (WCR) PROVIDE RECYCLED WATER CISTERN
 - (WWTP) PROVIDE WASTEWATER TREATMENT PLANT
 - (WWT) WASTE WATER HOLDING TANK
 - (FM) PROVIDE FORCE MAIN
 - (EB) EXISTING BUILDING
 - (SWD) STORM WATER DETENTION
 - (FT) FUEL TANK
 - (WC) WATER CLOSET
 - (GEN) GENERATOR
 - (SWS) SOLID WASTE STORAGE
 - (HWS) HAZARDOUS WASTE STORAGE
 - (SBW) PROVIDE BOAT WASTE STORAGE
 - (HPP) PROVIDE HYDRO-PNEUMATIC PUMP
 - (BFP/RPZ) PROVIDE BACK FLOW PREVENTER/REDUCED PRESSURE ZONE
 - (GV) PROVIDE GATE VALVE
 - (BLV) PROVIDE BLOW OFF VALVE
 - (ESTCT) EXISTING CISTERN FOR ROOF DRAIN COLLECTION

- LEGEND**
- Shore Line
 - Right of Way Line
 - Storm Sewer Pipe
 - Fence Line
 - Contour
 - Building Adjacent
 - Building
 - Roof Overhang
 - FEMA 100 Yr Floodplain
 - Soil Boundary with Soil Types
 - Spot Elevation
 - Storm Sewer Inlet
 - Storm Sewer Hoodwall
 - Manhole
 - Dry Stone Retaining Wall
 - Signs
 - Trees
 - Dist.
 - Curb
 - Conc. Prg.
 - Fnc.
 - Genp.
 - Open Space
 - Ramp
 - Sect.
 - Stps
 - Slp.
 - Xfca.
 - Existing Cistern
 - Existing Curb
 - Existing Concrete Paving
 - Existing Fence
 - Existing Generator on Concrete Foot
 - Existing Open Space Area
 - Existing Ramp
 - Existing Septic
 - Existing Stairs
 - Existing Stairs and Landing
 - Existing Transformer on Concrete Pad
 - Existing Power Pole
 - PROPOSED BUILDING
 - PROPOSED PEDESTRIAN UNIT PAVERS
 - PROPOSED LANDSCAPE AREA
 - PROPOSED CONCRETE PAVING
 - PROPOSED CONCRETE SIDEWALK
 - PROPOSED PERMEABLE PAVERS
 - PROPOSED PERMANENT TURF REINFORCEMENT MATTING
 - PROPOSED ROCK STABILIZATION BLANKET
 - PROPOSED CONTOUR
 - NEW SPOT GRADE
 - PARKING SPACES
 - PROPOSED MANHOLE
 - PROPOSED OUTLET STRUCTURE
 - PROPOSED SEDIMENT TRAP
 - PROPOSED STORM LINE
 - PROPOSED SANITARY LINE
 - PROPOSED SANITARY FORCE MAIN
 - PROPOSED WATER LINE
 - PROPOSED RECYCLED WATER LINE
 - PROPOSED UNDERGROUND ELECTRIC LINE
 - PROPOSED UNDERGROUND STORM WATER MANAGEMENT AREA
 - PROPOSED VERTICAL STONE INTERCEPTION DRAIN
 - PROPOSED TRENCH DRAIN
 - PROPOSED END WALL
 - LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
 - LIMIT OF DISTURBANCE/SALT FENCE
 - LIMIT OF DISTURBANCE
 - PROPOSED WATER VALVE

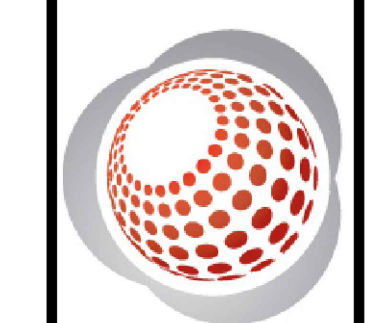


NOTES: 1. ALL WATER MAIN PIPES ARE 6" C 900 PVC UNLESS OTHERWISE NOTED.
2. ALL WATER SERVICE LINES ARE 2" C 900 PVC UNLESS OTHERWISE NOTED.
3. ALL FORCEMAIN PIPE IS 6" DUCTILE IRON PIPE UNLESS OTHERWISE NOTED.

CISTERN CAPACITY							
PARCEL NO.	BUILDING NO.	ROOF AREA	NO. OF STORIES	GAL. REQ'D./ROOF AREA	REQUIRED VOL. (CF)	REQUIRED VOL. (GAL)	PROVIDED VOL. (GAL)
10-13 REM	B1	308	1	10	411	3,080	EXIST. CISTERNS 52,800 GAL
	B2	3048	2	15	6,112	45,720	
	B3	348	1	10	465	3,480	NEW CISTERNS 50,000 GAL
	B4	237	1	10	316	2,370	
	B5	2635	2	15	5,284	39,525	
	GD	369	1	10	493	3,690	
				70	13,081	97,865	102,800
10-41 REM	B8	1505	1	10	2,012	15,050	38,933
	B9	4944	2	15	9,914	74,160	111,972
				25	11,926	89,210	150,905
10-17 CONSOLIDATED	B10	5052	2	15	10,131	75,780	129,235
	B11	2261	2	15	4,534	33,915	45,815
				30	14,665	109,695	175,050
10-19	B12	915	2	15	1,834	13,725	-
	B13	1322	1	10	1,767	13,220	21,168
				25	3,601	26,945	21,168
MARINA	144 SLIPS	N/A	N/A	10 GAL/SLIP	N/A	1,440	25,000
TOTAL PROJECT:				272	43,273	325,155	474,923



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Engineers • Surveyors • Planners
5001-12 Chandler's Wharf, Christiansburg, VA 24003
PHONE: (304) 778-7474
WEBSITE: WWW.BATEMANCIVILSURVEY.COM



ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

**UTILITY PLAN
&
WASTEWATER SYSTEM**

Designed By: MKD
Drawn By: ASF/MKD
Checked By: JLB
Scale: 1" = 40'
Date: 08/11/2017
Revised:

Project Number: 16X065
C300

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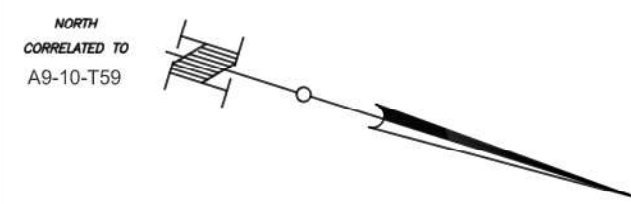
NO. 13 REMAINDER PARCEL (WESTERN PORTION)
SEE DWG. NO. C201 FOR SITE PLAN

PARCEL NO. 41- REMAINDER
SEE DWG. NO. C205 FOR SITE PLAN

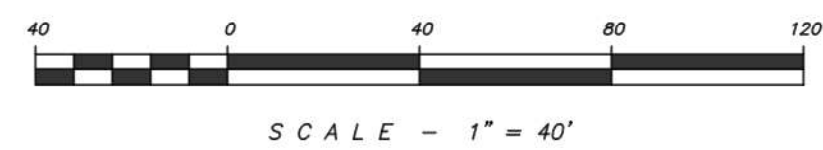
NO. 13 REMAINDER PARCEL
(EASTERN PORTION)
SEE DWG. NO. C204 FOR SITE PLAN

PARCEL NO. 10-17 CONSOLIDATED
SEE DWG. NO. C206 FOR SITE PLAN

PARCEL NO. 10-19
SEE DWG. NO. C207 FOR SITE PLAN



PLAN



NOTE: THE DETENTION BASINS (AS SHOWN ON THE PLAN) ARE PERMANENT FACILITIES AND SHALL NOT BE MODIFIED OR REMOVED UNLESS PRIOR APPROVAL IS GRANTED BY THE DEPARTMENT OF PLANNING AND NATURAL RESOURCES (DPNR). THE OWNER/ PERMITEE SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL GRADES AND ELEVATIONS OF SUCH FACILITIES, AND SHALL DO NOTHING TO ALTER OR DAMAGE SAME OR OTHER BASIN STRUCTURES AND DEVICES. THESE RESPONSIBILITIES SHALL INCLUDE ROUTINE LAWN CARE, REMOVAL OF ORDINARY INNOCUOUS DEBRIS THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BASINS, AND MAINTENANCE OF THE STRUCTURAL INTEGRITY AND REPAIR OF ALL OUTLET PIPES, WALL STRUCTURES AND OTHER PERMANENT STRUCTURAL DEVICES. THE DPNR SHALL HAVE PERPETUAL EASEMENTS ON AND OVER THE AREAS OF THE DETENTION BASINS FOR THE PURPOSE OF EMERGENCY MAINTENANCE AND REPAIR OF SAID PERMANENT FACILITIES. THE AFORESAID RESPONSIBILITIES OF THE OWNER/PERMITEE SHALL BE SUBJECT TO ENFORCEMENT BY DPNR. IN THE EVENT THAT THE OWNER/ PERMITEE FAILS TO HONOR THE RESPONSIBILITY SET FORTH HEREIN, IN ANY MANNER, DPNR SHALL HAVE THE RIGHT OF ENTRY UPON AND WITHIN THE AREA OF THE BASINS TO UNDERTAKE SUCH CORRECTIVE OR MAINTENANCE EFFORTS. THE COST OF SUCH, AS WELL AS ADMINISTRATIVE, ENGINEERING, AND LEGAL COSTS FOR ENFORCEMENT, MAY BE IMPOSED UPON THE PERMITEE, AS DETERMINED AND ASSESSED BY DPNR.

KEY

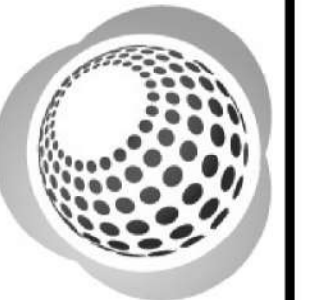
- (ADA) PROVIDE ADA PARKING SPACES
- (C) PROVIDE CONCRETE PAVING
- (CWW) PROVIDE CONCRETE PAVED WALKWAY
- (DO) PROVIDE DRIVEWAY OPENING
- (DWBS) PROVIDE DOMESTIC WATER BUILDING SERVICE
- (E) PROVIDE UNDERGROUND ELECTRIC LINE
- (E-B) PROVIDE UNDERGROUND ELECTRIC JUNCTION BOX
- (L) PROVIDE LANDSCAPE AREA
- (LYGA) PROVIDE LOADING & TAXI QUEUING AREA
- (NB) NEW BUILDING
- (PA) PROVIDE PARKING
- (PP) PROVIDE PERMEABLE PAVERS
- (PUPC) PROVIDE RAISE PEDESTRIAN UNIT PAVER CROSSWALK
- (RTWL) PROVIDE RETAINING WALL
- (RW) PROVIDE RECYCLED WATER LINE
- (PW) PROVIDE POTABLE WATER TANK
- (STIG) PROVIDE TEE FITTING
- (TE) PROVIDE TEE FITTING
- (WCP) PROVIDE POTABLE WATER CISTERN
- (WCR) PROVIDE RECYCLED WATER CISTERN
- (WWTP) PROVIDE WASTE WATER TREATMENT PLANT
- (WWT) WASTE WATER HOLDING TANK
- (FM) PROVIDE FORCE MAIN
- (EB) EXISTING BUILDING
- (SWD) STORM WATER DETENTION
- (FT) FUEL TANK
- (WC) WATER CLOSET
- (GEN) GENERATOR
- (SWS) SOLID WASTE STORAGE
- (HWS) HAZARDOUS WASTE STORAGE
- (SBW) PROVIDE BOAT WASTE STORAGE
- (BMP) PROVIDE STORMWATER POND
- (ESPWY) PROVIDE EMERGENCY SPILLWAY
- (EB) PROVIDE ELECTRICAL JUNCTION BOX
- (ESTCT) EXISTING CISTERN FOR ROOF DRAIN COLLECTION
- (SST) PROVIDE STORMWATER SEDIMENT TRAP

LEGEND

- Shore Line
- Right of Way Line
- Storm Sewer Pipe
- Fence Line
- Contour
- Building Adjacent
- Building
- Roof Overhang
- FEMA 100 Yr Floodplain
- Soil Boundary with Soil Types
- Spot Elevation
- Storm Sewer Inlet
- Storm Sewer Headwall
- Manhole
- Dry Stone Retaining Wall
- Signs
- Trees
- Existing Cistern
- Curb
- Conc. Prg. Existing Concrete Paving
- Fnc. Existing Fence
- Grpc. Existing Generator on Concrete Pad
- Open Space Existing Open Space Area
- Ramp Existing Ramp
- Sept. Existing Septic
- Stair Existing Stair
- Stg. Existing Stair and Landing
- Xfca. Existing Transformer on Concrete Pad
- Existing Power Pole
- PROPOSED BUILDING
- PROPOSED PEDESTRIAN UNIT PAVERS
- PROPOSED LANDSCAPE AREA
- PROPOSED CONCRETE PAVING
- PROPOSED PERMEABLE PAVERS
- PROPOSED PERMANENT TURF REINFORCEMENT MATTING
- PROPOSED ROCK STABILIZATION BLANKET
- PROPOSED CONTOUR
- NEW SPOT GRADE
- PARKING SPACES
- PROPOSED MANHOLE
- PROPOSED OUTLET STRUCTURE
- PROPOSED SEDIMENT TRAP
- PROPOSED STORM LINE
- PROPOSED SANITARY LINE
- PROPOSED SANITARY FORCE MAIN
- PROPOSED WATER LINE
- PROPOSED RECYCLED WATER LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND STORM WATER MANAGEMENT AREA
- PROPOSED VERTICAL STONE INTERCEPTOR DRAIN
- PROPOSED TRENCH DRAIN
- PROPOSED END WALL
- LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
- LIMIT OF DISTURBANCE/SALT FENCE
- LIMIT OF DISTURBANCE



BCSC DOSPIVA
Engineers • Surveyors • Planners
5001-12 Chandlers Wharf, Christiansburg, St. Croix, VI 00820
WEBSITE: WWW.BATEMANCVLSURVEY.COM PHONE: (340)778-7474

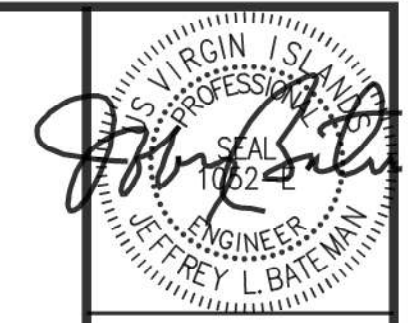


ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

**UTILITY PLAN
ELECTRICAL AND
STORM DRAINAGE**

Designed By: MKD
Drawn By: ASF/MKD
Checked By: JLB
Scale: 1" = 40'
Date: 08/11/2017
Revised:
①
②
③
④
⑤
Project Number: 16X065

C301



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 Engineers • Surveyors • Planners
 5001-12 Chandler's Wharf, Christiansburg, St. Croix, VI 00820
 WEBSITE: WWW.BATEMANCIVILSURVEY.COM PHONE: (340)778-7474



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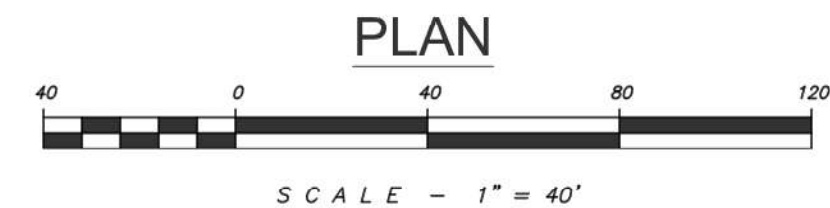
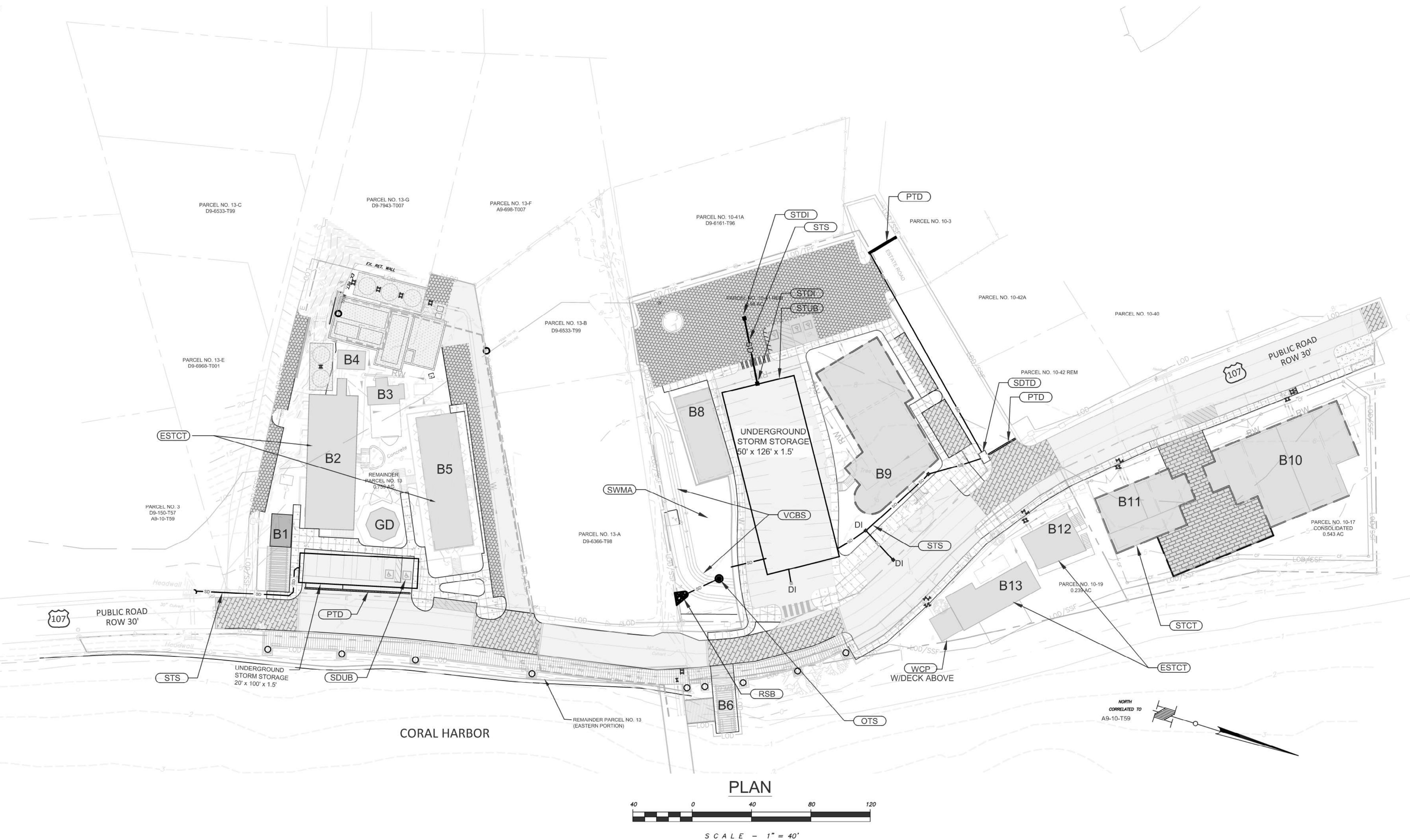
STORMWATER MANAGEMENT PLAN

Designed By: BJK
 Drawn By: MKD
 Checked By: JLB
 Scale: 1" = 40'
 Date: 08/11/2017
 Revised:
 1
 2
 3
 4
 5
 Project Number: 16X065

C400

LEGEND

- Shore Line
- Right of Way Line
- Storm Sewer Pipe
- Fence Line
- Contour
- ▨ Building Adjacent
- ▭ Building
- Roof Overhang
- FEMA 100 Yr Floodplain
- Soil Boundary with Soil Types
- Spot Elevation
- Storm Sewer Inlet
- Storm Sewer Headwall
- Manhole
- Dry Stone Retaining Wall
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- Existing Cistern
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- Fnc. Existing Fence
- Gncp. Existing Generator on Concret Pad
- Open Space Existing Open Space Area
- Ramp Existing Ramp
- Spt. Existing Septic
- Strs. Existing Stairs
- Stlg. Existing Stairs and Landing
- Xfcp. Existing Transformer on Concrete Pad
- ▨ BUILDING
- ▨ PAVEMENT TO BE REMOVED
- ▨ FUTURE BUILDING
- ▨ NEW PEDESTRAIN UNIT PAVERS
- ▨ NEW LANDSCAPE AREA
- ▨ NEW CONCRETE PAVING
- ▨ NEW CONCRETE SIDEWALK
- ▨ NEW PERMEABLE PAVERS
- ▨ NEW PERMANENT TURF REINFORCEMENT MATTING
- ▨ NEW ROCK STABILIZATION BLANKET
- ▨ NEW CONTOUR
- NEW SPOT GRADE
- PARKING SPACES
- NEW MANHOLE
- NEW OUTLET STRUCTURE
- NEW SEDIMENT TRAP
- NEW STORM LINE
- NEW SANITARY LINE
- NEW SANITARY FORCE MAIN
- NEW WATER LINE
- NEW RECYCLED WATER LINE
- NEW UNDERGROUND ELECTRIC LINE
- NEW UNDERGROUND STORM WATER MANAGEMENT AREA
- NEW VERTICAL STONE INTERCEPTOR DRAIN
- NEW TRENCH DRAIN
- NEW END WALL



GENERAL NOTES:

NOTES:

MAINTENANCE NOTES:

- CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANY COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

- PLAN REFERENCE: EXISTING FEATURES.
- THE DETENTION BASINS (AS SHOWN ON THE PLAN) ARE PERMANENT FACILITIES AND SHALL NOT BE MODIFIED OR REMOVED UNLESS PRIOR APPROVAL IS GRANTED BY THE DEPARTMENT OF PLANNING AND NATURAL RESOURCES (DPNR). THE OWNER/ PERMITEE SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL GRADES AND ELEVATIONS OF SUCH FACILITIES, AND SHALL DO NOTHING TO ALTER OR DAMAGE SAME OR OTHER BASIN STRUCTURES AND DEVICES. THESE RESPONSIBILITIES SHALL INCLUDE ROUTINE LAWN CARE, REMOVAL OF ORDINARY INNOCUOUS DEBRIS THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BASINS, AND MAINTENANCE OF THE STRUCTURAL INTEGRITY AND REPAIR OF ALL OUTLET PIPES, WALL STRUCTURES AND OTHER PERMANENT STRUCTURAL DEVICES. THE DPNR SHALL HAVE PERPETUAL EASEMENTS ON AND OVER THE AREAS OF THE DETENTION BASINS FOR THE PURPOSE OF EMERGENCY MAINTENANCE AND REPAIR OF SAID PERMANENT FACILITIES. THE AFORESAID RESPONSIBILITIES OF THE OWNER/ PERMITEE SHALL BE SUBJECT TO ENFORCEMENT BY DPNR. IN THE EVENT THAT THE OWNER/ PERMITEE FAILS TO HONOR THE RESPONSIBILITY SET FORTH HEREIN, IN ANY MANNER, DPNR SHALL HAVE THE RIGHT OF ENTRY UPON AND WITHIN THE AREA OF THE BASINS TO UNDERTAKE SUCH CORRECTIVE OR MAINTENANCE EFFORTS. THE COST OF SUCH, AS WELL AS ADMINISTRATIVE, ENGINEERING, AND LEGAL COSTS FOR ENFORCEMENT, MAY BE IMPOSED UPON THE PERMITEE, AS DETERMINED AND ASSESSED BY DPNR.

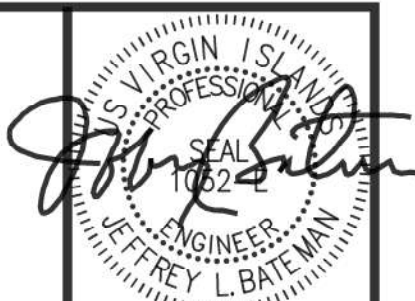
- THE STORMWATER DETENTION BASIN AND THEIR OUTLET STRUCTURES AND PIPES SHALL BE VISUALLY INSPECTED ANNUALLY PRIOR TO HURRICANE SEASON AND AFTER EVERY MAJOR STORM EVENT.
 - AREAS OF THIN OR BARE VEGETATION SHALL BE RAKED, SEEDED, AND MULCHED ACCORDING TO THE ORIGINAL SPECIFICATIONS.
 - REPAIRS TO THE PERMANENT EROSION CONTROL BLANKET SHALL BE PERFORMED IF NEEDED. THE WEIR STRUCTURE AND OUTLET PIPES MUST BE KEPT FREE OF DEBRIS, AND SHALL BE CLEARED OF DEBRIS AND LITTER.
 - THE POND SHALL BE KEPT CLEAR OF FLOATING DEBRIS WHICH MAY CLOG THE OUTLET STRUCTURE.
 - LAWN AND VEGETATED AREAS SHALL BE KEPT MOWED AND PROPERLY GROOMED TO PREVENT OVERGROWTH FROM COMPROMISING THE REQUIRED VOLUMES IN THE BASIN. VEGETATION SHALL NOT BE MOWED TO LESS THAN 12" WITHIN THE BASIN BOTTOMS AND SIDE SLOPES. ACCUMULATED SEDIMENT SHALL BE REMOVED FROM THE POND EVERY 1-5 YEARS, AS NEEDED, DUE TO CONDITIONS AND INSPECTIONS.
- ALL STORM INLETS AND TRENCH DRAINS AND THEIR PIPES SHALL BE VISUALLY INSPECTED ANNUALLY PRIOR TO HURRICANE SEASON AND AFTER EVERY MAJOR STORM EVENT. ANY SEDIMENT OR DEBRIS THAT HAS COLLECTED IN THE STRUCTURES OR THE PIPES SHALL BE REMOVED.
 - ANY NECESSARY REPAIRS REGARDING SEEDING AND MULCHING SHALL BE COMPLETED BEFORE JULY 1 OF THAT YEAR.
 - AREAS OF THIN OR BARE VEGETATION SHALL BE RAKED, SEEDED, AND MULCHED ACCORDING TO

- THE ORIGINAL SPECIFICATIONS.
- ANY SEDIMENT OR DEBRIS THAT HAS COLLECTED IN THE CHANNEL SHALL BE REMOVED.
- LAWN AND VEGETATED AREAS SHALL BE KEPT MOWED AND PROPERLY GROOMED TO PREVENT OVERGROWTH FROM COMPROMISING THE FUNCTIONING OF THE GHUT CHANNEL. VEGETATION SHALL NOT BE MOWED TO LESS THAN 12" WITHIN THE BASIN BOTTOMS AND SIDE SLOPES.
- MOWING/TRIMMING OF BASIN SLOPE AREAS SHOULD BE PERFORMED AS NEEDED. HOWEVER, VEGETATION ON THE BASIN SLOPES AND IN THE BOTTOM OF THE BASIN SHALL NOT BE MOWED TO LESS THAN 12" IN HEIGHT.
- THE FOLLOWING CHECKLIST MAY BE USED TO AID IN THE MAINTENANCE AND INSPECTION PROGRAM ON-SITE:
 - OBSTRUCTIONS OF THE INLET OR OUTLET DEVICES BY TRASH AND DEBRIS.
 - EXCESSIVE EROSION OR SEDIMENTATION, CRACKING OR SETTLING.
 - ANIMAL BURROWING.
 - SLUGGISHLY DRAINING BASIN OR INLETS.
 - ALGAE GROWTH, STAGNANT POOLS, OR NOXIOUS ODORS.
 - POOR OR DISTRESSED VEGETATION.
 - DETERIORATED, CRACKED, OR DAMAGED TRENCH DRAINS, INLETS, PIPES, OR SUMPS.
 - SEEPAGE.
 - UNSTABLE SIDE SLOPES AND EMBANKMENTS.
 - DETERIORATION OF CHANNELS.
 - SIGNS OF VANDALISM.
 - PIPING ALONG OUTLET BARREL.
 - DETERIORATION/SCOURING AT ENERGY DISSIPATORS OR ROCK RIP-RAP.
- OUTLET PROTECTION.
- SEDIMENTATION CLOGGING RIP-RAP AREAS.
- FOR ALL SEDIMENT REMOVAL, THE ACCUMULATED SEDIMENT SHALL BE EITHER REMOVED FROM THE SITE OR PRIOR TO ON-SITE AT AN APPROVED DISPOSAL AREA. PRIOR TO ON-SITE DISPOSAL OF SEDIMENT, THE OWNER SHALL ACQUIRE THE APPROPRIATE EARTH DISTURBANCE PERMITS. DISTURBED AREAS FOR REMOVAL AND PLACEMENT OF SEDIMENT SHALL BE RAKED, SEEDED, AND MULCHED ACCORDING TO THE ORIGINAL SPECIFICATIONS.
- OWNERS SHALL BE RESPONSIBLE FOR ALL MAINTENANCE REQUIRED, INCLUDING PERMANENT STORMWATER BASINS, GHUT CHANNELS, STORM SEWER, AND STORM STRUCTURES.
- OWNERS SHALL ENSURE STANDING WATER IN THE BASINS REMAIN FREE OF MOSQUITO OR OTHER PEST INFESTATION BY REGULAR INSPECTION AND TREATMENT AS NECESSARY.

KEY

- (ESTCT) EXISTING CISTERN FOR ROOF DRAIN COLLECTION
- (OTIN) PROVIDE OIL & TRASH INTERCEPTOR VAULT
- (OTS) PROVIDE OUTLET STRUCTURE
- (PTD) PROVIDE TRENCH DRAIN
- (RSB) PROVIDE RIP RAP STONE BED
- (SDTD) PROVIDE TRENCH DRAIN SEDIMENT TRAP
- (STCT) PROVIDE TRENCH DRAIN SEDIMENT TRAP
- (STDI) PROVIDE STORM DROP INLET
- (STEW) PROVIDE CONCRETE ENDWALL
- (STPD) PROVIDE STORM PRE-TREATMENT DEVICE
- (STPUP) PROVIDE PEDESTRIAN UNIT PAVR W/ UNDER DRAIN
- (STS) PROVIDE STORM SEWER
- (STUB) PROVIDE STORM UNDERGROUND BASIN
- (SWMA) PROVIDE STORMWATER MANAGEMENT AREA
- (VCBS) PROVIDE PERMANENT TURF REINFORCEMENT MATTING
- (VSDI) PROVIDE VERTICAL STONE INTERCEPTOR DRAIN

PRELIMINARY FOR REVIEW ONLY



BCSC DOSPIVA
 Engineers • Surveyors • Planners
 5001-12 Chandler's Wharf, Christiansburg, VA, Crook, VA 000820
 WEBSITE: WWW.BATEMANICONSURVEY.COM PHONE: (840)776-7474



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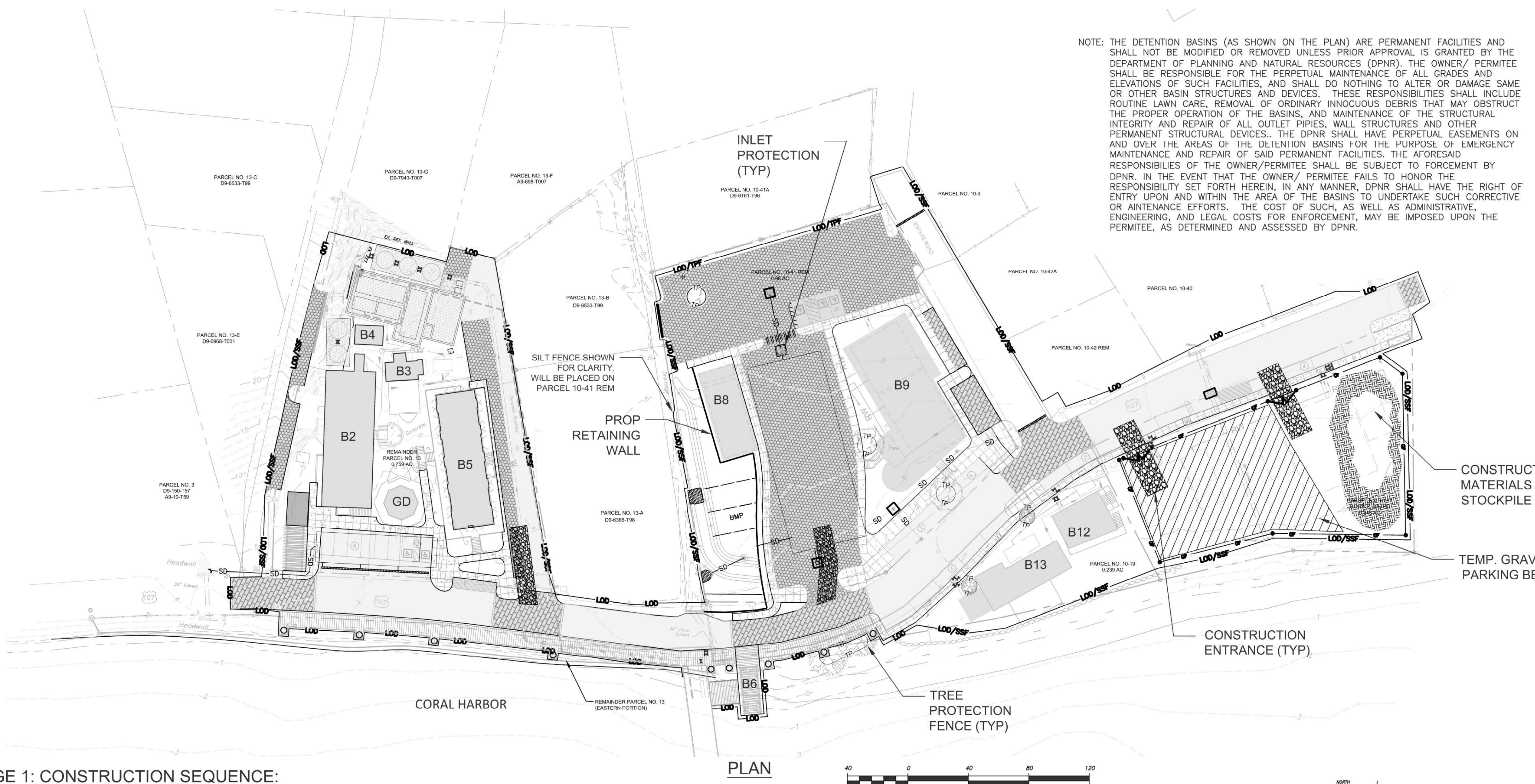
EROSION & SEDIMENT CONTROL PLAN
 OVERALL & STAGE 1

Designed By: BJK
 Drawn By: MKD
 Checked By: JLB
 Scale: 1" = 40'
 Date: 08/11/2017
 Revised:
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 Project Number: 16X065

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NOTE: THE DETENTION BASINS (AS SHOWN ON THE PLAN) ARE PERMANENT FACILITIES AND SHALL NOT BE MODIFIED OR REMOVED UNLESS PRIOR APPROVAL IS GRANTED BY THE DEPARTMENT OF PLANNING AND NATURAL RESOURCES (DPNR). THE OWNER/ PERMITEE SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL GRADES AND ELEVATIONS OF SUCH FACILITIES, AND SHALL DO NOTHING TO ALTER OR DAMAGE SAME OR OTHER BASIN STRUCTURES AND DEVICES. THESE RESPONSIBILITIES SHALL INCLUDE ROUTINE LAWN CARE, REMOVAL OF ORDINARY INNOCUOUS DEBRIS THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BASINS, AND MAINTENANCE OF THE STRUCTURAL INTEGRITY AND REPAIR OF ALL OUTLET PIPES, WALL STRUCTURES AND OTHER PERMANENT STRUCTURAL DEVICES. THE DPNR SHALL HAVE PERPETUAL EASEMENTS ON AND OVER THE AREAS OF THE DETENTION BASINS FOR THE PURPOSE OF EMERGENCY MAINTENANCE AND REPAIR OF SAID PERMANENT FACILITIES. THE AFORESAID RESPONSIBILITIES OF THE OWNER/PERMITEE SHALL BE SUBJECT TO ENFORCEMENT BY DPNR. IN THE EVENT THAT THE OWNER/ PERMITEE FAILS TO HONOR THE RESPONSIBILITY SET FORTH HEREIN, IN ANY MANNER, DPNR SHALL HAVE THE RIGHT OF ENTRY UPON AND WITHIN THE AREA OF THE BASINS TO UNDERTAKE SUCH CORRECTIVE OR MAINTENANCE EFFORTS. THE COST OF SUCH, AS WELL AS ADMINISTRATIVE, ENGINEERING, AND LEGAL COSTS FOR ENFORCEMENT, MAY BE IMPOSED UPON THE PERMITEE, AS DETERMINED AND ASSESSED BY DPNR.

LEGEND	
	Shore Line
	Right of Way Line
	Storm Sewer Pipe
	Fence Line
	Contour
	Building Adjacent
	Building
	Roof Overhang
	FEMA 100 Yr Floodplain
	Soil Boundry with Soil Types
	Spot Elevation
	Storm Sewer Inlet
	Storm Sewer Headwall
	Manhole
	Dry Stone Retaining Wall
	Signs
	Cist.
	Existing Cistern
	Existing Curb
	Existing Concrete Paving
	Existing Fence
	Existing Generator on Concrete Pad
	Existing Open Space Area
	Existing Ramp
	Existing Septic
	Existing Stairs
	Existing Stairs and Landing
	Existing Transformer on Concrete Pad
	BUILDING
	PAVEMENT TO BE REMOVED
	FUTURE BUILDING
	NEW PEDESTRAIN UNIT PAVERS
	NEW LANDSCAPE AREA
	NEW CONCRETE PAVING
	NEW CONCRETE SIDEWALK
	NEW PERMEABLE PAVERS
	NEW PERMANENT TURF REINFORCEMENT MATTING
	NEW ROCK STABILIZATION BLANKET
	NEW CONTOUR
	NEW SPOT GRADE
	PARKING SPACES
	NEW MANHOLE
	NEW OUTLET STRUCTURE
	NEW SEDIMENT TRAP
	NEW STORM LINE
	NEW SANITARY LINE
	NEW SANITARY FORCE MAIN
	NEW WATER LINE
	NEW RECYCLED WATER LINE
	NEW UNDERGROUND ELECTRIC LINE
	NEW UNDERGROUND STORM WATER MANAGEMENT AREA
	NEW VERTICAL STONE INTERCEPT DRAIN
	NEW TRENCH DRAIN
	NEW END WALL
	LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
	LIMIT OF DISTURBANCE/SILT FENCE
	LIMIT OF DISTURBANCE/SILT FENCE
	LIMIT OF DISTURBANCE
	LIMIT OF DISTURBANCE

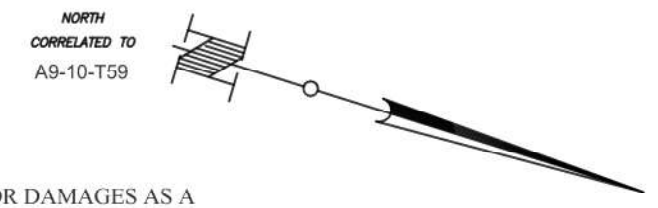
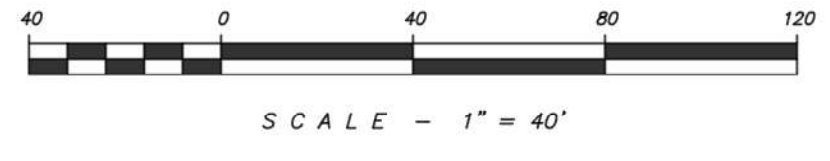


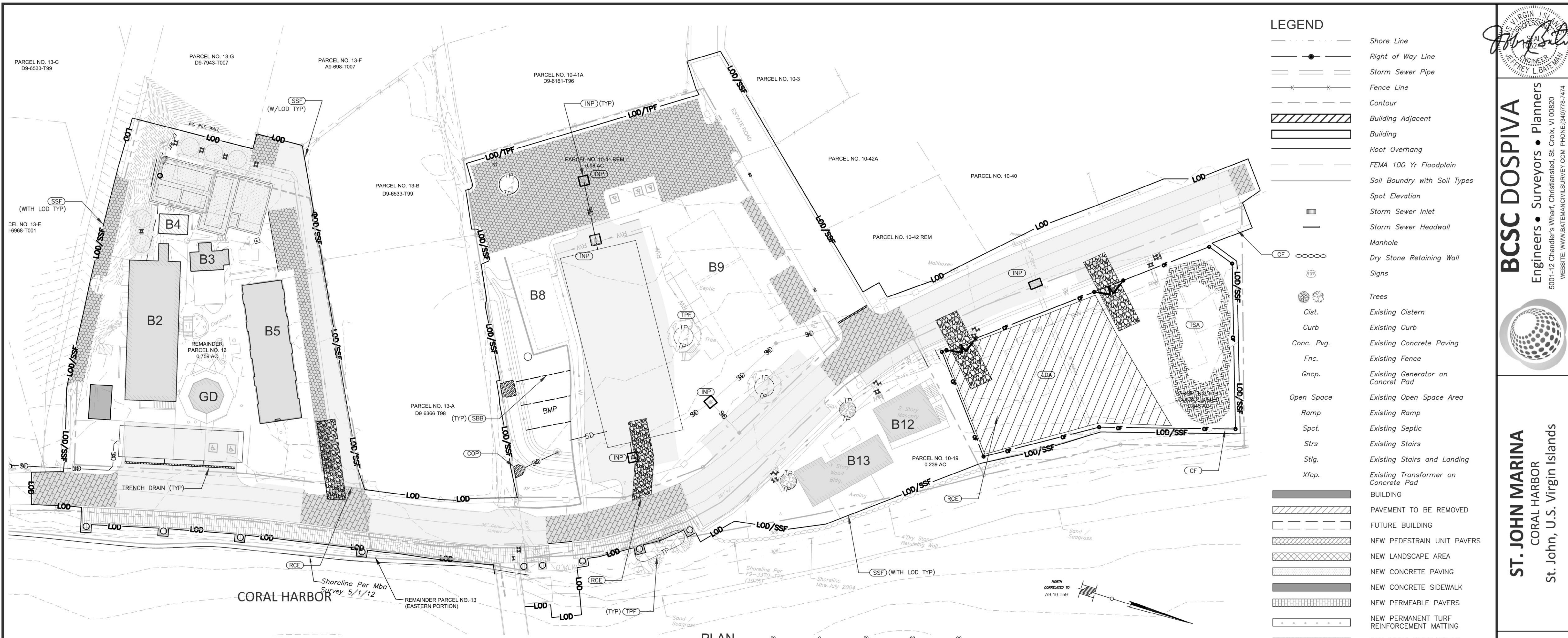
STAGE 1: CONSTRUCTION SEQUENCE:

- INSTALL CONSTRUCTION ACCESS AND MATERIALS STORAGE AREA ON LOT 10-17 AS SHOWN ON PLANS. INSTALL ROCK CONSTRUCTION ENTRANCE. INSTALL PERIMETER CONSTRUCTION FENCING AROUND TEMPORARY CONTRACTOR PARKING AND LAYDOWN AREA. INSTALL TEMPORARY GRAVEL PARKING BED. INSTALL TEMPORARY TRAILERS FOR CONSTRUCTION OFFICES.
- INSTALL TREE PROTECTION FENCE AROUND TREES AND VEGETATED AREAS TO REMAIN. FILTER FABRIC FENCE AS INDICATED ON PLANS.
- BEGIN MARINA DOCK CONSTRUCTION. REFER TO PLANS BY OTHERS FOR SPECIFIC WORK WITHIN SUBMERGED LAND AREAS.
- CONSTRUCT ABOVE GROUND AREAS OF STORMWATER MANAGEMENT AREA.
- WORK IN THE GHUT SHALL BE CONSTRUCTED AT A TIME OF NO FLOW.
- ROUGH GRADE TO THE PROPOSED SUB-GRADE ELEVATION AND GRADIENT.
- INSTALL BMP OUTLET STRUCTURE AND PIPING TO CONNECT TO EXISTING CULVERT UNDER ROUTE 107. COVER THE OUTLET STRUCTURE ORIFICE OPENINGS WITH PLYWOOD TO PROVIDE A WATERTIGHT SEAL. INSTALL FILTER BAG INLET PROTECTION ON THE GRATE OF THE OUTLET STRUCTURE.
- FINE GRADE BMP TO FINAL GRADES. SPREAD TOPSOIL ON BASIN SLOPES.
- INSTALL TEMPORARY BAFFLE STRUCTURES IN BMP BOTTOM.
- INSTALL PERMANENT EROSION CONTROL BLANKET ON BMP SLOPES AND IMMEDIATELY SEED AND STABILIZE. DO NOT INSTALL BLANKET ON BOTTOM OF BMP UNTIL ALL WORK IS COMPLETED AND BAFFLES ARE REMOVED.
- THE BMP MUST BE CONSTRUCTED, STABILIZED, AND CAPABLE OF HANDLING STORMWATER RUNOFF PRIOR TO ANY ADDITIONAL EARTHMOVING ACTIVITIES.
- CLEAR AND GRUB AREAS WITHIN STAGE 1. REMOVE EXISTING STRUCTURES, CONCRETE, AND GRAVEL AREAS WITH THE EXCEPTION OF THE ACTUAL ROAD CARRYWAY.
- STRIP TOPSOIL FROM PROPOSED AREAS. REMOVE OR STOCKPILE TOPSOIL WHERE INDICATED ON PLAN FOR USE WITH FINAL GRADING. INSTALL PERIMETER FILTER FABRIC FENCE AND IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCHING TO THE STOCKPILES. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- BEGIN CONSTRUCTION OF ROADWAY IMPROVEMENTS.
- ROADWAY SHALL BE CONSTRUCTED IN SUCH A MANNER TO MAINTAIN ACCESS AT ALL TIMES. ONLY 1/3 OF THE ROADWAY WILL BE UNDER CONSTRUCTION AT A TIME TO ALLOW TRAFFIC TO PASS. ADDITIONAL

EROSION & SEDIMENT NOTES:

- ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED ACCORDING TO THE STANDARDS AND SPECIFICATIONS OF THE DEPARTMENT OF PLANNING AND NATURAL RESOURCES. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGRADING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
- NO WORK SHALL COMMENCE UNTIL PERMITS FOR SOIL DISTURBANCE HAVE BEEN OBTAINED. THE TYPES PERMITS CONTRACTOR SHALL NOTIFY THE DEPARTMENT OF PLANNING AND NATURAL RESOURCES OF THE DATE OF THE PRE-CONSTRUCTION MEETING.
- PRIOR TO PERMANENT SEEDING SOIL TESTING SHALL BE PERFORMED TO DETERMINE THE APPROPRIATE FERTILIZER AND OTHER AMENDMENT APPLICATIONS. FERTILIZER AND OTHER AMENDMENTS SHALL BE APPLIED PER THE RECOMMENDATIONS OF A LICENSED LANDSCAPE PROFESSIONAL. PERMANENT VEGETATION SHOULD BE ESTABLISHED AT THE EARLIEST POSSIBLE DATE. WATERING, MOWING AND FERTILIZING PROGRAMS SHALL BE CONTINUED UNTIL VEGETATIVE COVER IS ADEQUATELY ESTABLISHED AND AS REQUIRED ON A PERMANENT BASIS TO MAINTAIN THE COVER.
- STRAW MULCH OR HAY MULCH AT THE RATE OF 3.0 TONS/ACRES SHOULD BE APPLIED IN CONJUNCTION WITH ALL TEMPORARY AND PERMANENT SEEDING ACTIVITIES. MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING. HYDROSEEDING MAY BE USED IN LIEU OF MULCHING. ADEQUATE PROTECTION SHALL BE PROVIDED (TEMPORARY TREE PROTECTION OR CONSTRUCTION SECURITY FENCE) SHALL BE PROVIDED TO KEEP LIVESTOCK FROM DISTURBING NEWLY PLANTED AND MULCHED AREAS.
- ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED AND WHICH WILL REMAIN EXPOSED MUST BE STABILIZED IMMEDIATELY. DURING NON-EROSION PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 6 YEARS MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS WHICH ARE EITHER AT FINISHED GRADE, OR WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH PERMANENT SEEDING SPECIFICATIONS.
- DIVERSIONS, CHANNELS, SEDIMENT BASINS, SEDIMENT TRAPS AND STOCKPILES MUST BE STABILIZED IMMEDIATELY.
- ALL EROSION AND SEDIMENTATION POLLUTION CONTROL MEASURES MUST BE STRUCTURALLY SOUND AND PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
- TEMPORARY EROSION AND SEDIMENTATION POLLUTION CONTROL MEASURES, IN ADDITION TO THOSE SHOWN ON THIS PLAN, SHALL BE PROVIDED BY THE PERMITEE CONTRACTOR IF THERE IS EVIDENCE OF SILT, SEDIMENT AND/OR MUD LEAVING THE SITE DURING CONSTRUCTION.
- THE PERMITEE CONTRACTOR MUST DEVELOP, AND HAVE APPROVED BY THE DPNR, A SEPARATE EROSION AND SEDIMENTATION POLLUTION CONTROL PLAN FOR EACH SPOIL, BORROW, OR OTHER WORK AREA NOT DETAILED IN THE PERMITTED PLAN, WHETHER LOCATED WITHIN OR OUTSIDE OF THE CONSTRUCTION LIMITS.
- THE PERMITEE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROPER CONSTRUCTION, STABILIZATION AND MAINTENANCE OF ALL TEMPORARY AND PERMANENT EROSION AND SEDIMENTATION CONTROLS.
- UTILITY LINE TRENCH EXCAVATION REQUIREMENTS:
 - LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY.
 - LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED IN THE SAME DAY. DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR A MAXIMUM OF SIX DAYS FOR CERTAIN CASES REQUIRING TESTING OF THE INSTALLED PIPE.
 - WATER THAT ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING TO A FACILITY FOR REMOVAL OF SEDIMENT BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS.
 - ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING, THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE AT THE END OF EACH WEEK OR WITHIN THE NEXT TWO CALENDAR DAYS IF DAILY BACKFILLING HAS NOT BEEN DELAYED.
 - STORMWATER INLETS WHICH DO NOT DISCHARGE TO A SEDIMENT BASIN MUST BE PROTECTED UNTIL THEIR DRAINAGE AREA IS STABILIZED.
 - LIMIT OF DISTURBANCE APPROXIMATELY EQUAL TO A MINIMUM OF 3' INSIDE PROPERTY LINE.
 - UNLESS OTHERWISE SHOWN ON THE PLANS, THE EROSION CONTROL BLANKET USED FOR STABILIZATION SHALL AT A MINIMUM BE EASTCOAST EROSION BLANKET ECC-2 DOUBLE NET COCONUT ROLLED EROSION CONTROL PRODUCT (OR APPROVED EQUAL). THE BLANKET SHOULD BE INSTALLED PER THE MANUFACTURERS SPECIFICATIONS. SEE DETAILS FOR ADDITIONAL EROSION CONTROL BLANKET SPECIFICATIONS.
 - THE EROSION AND SEDIMENT POLLUTION CONTROL MEASURES SHOWN ON THIS PLAN HAVE BEEN PREPARED IN ACCORDANCE WITH REQUIREMENTS OF THE DPNR. BCSC DOSPIVA DOES NOT TAKE RESPONSIBILITY IN OBSERVING AND CERTIFYING THE CONSTRUCTION OF THESE FACILITIES UNLESS REQUESTED SPECIFICALLY BY THE OWNER AND/OR CONTRACTOR. THEREFORE, BCSC DOSPIVA DOES NOT





LEGEND

	Shore Line
	Right of Way Line
	Storm Sewer Pipe
	Fence Line
	Contour
	Building Adjacent
	Building
	Roof Overhang
	FEMA 100 Yr Floodplain
	Soil Boundary with Soil Types
	Spot Elevation
	Storm Sewer Inlet
	Storm Sewer Headwall
	Manhole
	Dry Stone Retaining Wall
	Signs
	Trees
	Existing Cistern
	Existing Curb
	Existing Concrete Paving
	Existing Fence
	Existing Generator on Concrete Pad
	Existing Open Space Area
	Existing Ramp
	Existing Septic
	Existing Stairs
	Existing Stairs and Landing
	Existing Transformer on Concrete Pad
	BUILDING
	PAVEMENT TO BE REMOVED
	FUTURE BUILDING
	NEW PEDESTRAIN UNIT PAVERS
	NEW LANDSCAPE AREA
	NEW CONCRETE PAVING
	NEW CONCRETE SIDEWALK
	NEW PERMEABLE PAVERS
	NEW PERMANENT TURF REINFORCEMENT MATTING
	NEW ROCK STABILIZATION BLANKET
	NEW CONTOUR
	NEW SPOT GRADE
	PARKING SPACES
	NEW MANHOLE
	NEW OUTLET STRUCTURE
	NEW SEDIMENT TRAP
	NEW STORM LINE
	NEW SANITARY LINE
	NEW SANITARY FORCE MAIN
	NEW WATER LINE
	NEW RECYCLED WATER LINE
	NEW UNDERGROUND ELECTRIC LINE
	NEW UNDERGROUND STORM WATER MANAGEMENT AREA
	NEW VERTICAL STONE INTERCEPTOR DRAIN
	NEW TRENCH DRAIN
	NEW END WALL
	LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
	LIMIT OF DISTURBANCE/SILT FENCE
	LIMIT OF DISTURBANCE
	LIMIT OF DISTURBANCE

STAGE 2 - PARCEL 10-13 IMPROVEMENTS

- INSTALL ROCK CONSTRUCTION ENTRANCE.
- INSTALL TREE PROTECTION FENCE AROUND TREES AND VEGETATED AREAS TO REMAIN, AND FILTER FABRIC FENCE AS INDICATED ON PLANS.
- CLEAR AND GRUB AREAS WITHIN STAGE. REMOVE EXISTING STRUCTURES, CONCRETE, GRAVEL AREAS.
- STRIP TOPSOIL FROM PROPOSED AREAS. REMOVE OR STOCKPILE TOPSOIL WHERE INDICATED ON PLAN FOR USE WITH FINAL GRADING. INSTALL PERIMETER FILTER FABRIC FENCE AND IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCHING TO THE STOCKPILES. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
- ROUGH GRADE DRIVEWAY, BUILDING AND LOT AREAS TO THE PROPOSED SUB-GRADE ELEVATION AND GRADIENT.
- INSTALL CULVERTS ON GHUT.
- INSTALL TRENCH DRAINS, STORM SEWER, HEADWALLS, PERMANENT ROCK ENERGY DISSIPATORS, INLET PROTECTION AND WATER FEATURE BASIN IN FRONT OF BUILDING 8.
- INSTALL SANITARY SEWER TREATMENT AND PIPING, PERMANENT ROCK ENERGY DISSIPATORS, AND REMAINING UTILITIES.
- FINE GRADE BUILDING, DRIVEWAY AND PARKING AREAS. SPREAD TOPSOIL. CONSTRUCT SUBBASE FOR PARKING AREA AND DRIVEWAYS.
- CONSTRUCT 8' WIDE BOARDWALK.
- INSTALL CONCRETE SURFACE COURSE AND SIDEWALKS. ALLOW APPROPRIATE CURING TIME PRIOR TO DIRECTING TRAFFIC ONTO NEW ROADWAY SURFACES.
- AFTER STAGE 2 AREA STABILIZATION HAS BEEN ACHIEVED, STAGE SPECIFIC TEMPORARY

STAGE 3 - PARCEL 10-41 REMAINDER AND ESTATE ROAD IMPROVEMENTS

- INSTALL ROCK CONSTRUCTION ENTRANCE.
- INSTALL TREE PROTECTION FENCE AROUND TREES AND VEGETATED AREAS TO REMAIN, AND FILTER FABRIC FENCE AS INDICATED ON PLANS.
- CLEAR AND GRUB AREAS WITHIN STAGE. REMOVE EXISTING STRUCTURES, CONCRETE, AND GRAVEL AREAS.
- STRIP TOPSOIL FROM PROPOSED AREAS. REMOVE OR STOCKPILE TOPSOIL WHERE INDICATED ON PLAN FOR USE WITH FINAL GRADING. INSTALL PERIMETER FILTER FABRIC FENCE AND IMMEDIATELY APPLY TEMPORARY SEEDING AND MULCHING TO THE STOCKPILES. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OF FLATTER.
- ROUGH GRADE DRIVEWAY, BUILDING, AND LOT AREAS TO THE PROPOSED SUB-GRADE ELEVATION AND GRADIENT.
- CONSTRUCT STORMWATER MANAGEMENT UNDERGROUND BASIN AREA.
- WORK SHALL BE CONSTRUCTED AT A TIME OF NO FLOW.
- ROUGH GRADE TO THE PROPOSED SUB-GRADE ELEVATION AND GRADIENT.
- INSTALL BLOCK WALL OUTLET STRUCTURE AND PIPING TO CONNECT TO ABOVE GROUND BASIN AREA. INSTALL RIP-RAP FILTER.
- INSTALL R-TANK UNDERGROUND BASIN PER DETAILS AND MANUFACTURERS INSTRUCTIONS.
- INSTALL CONNECTIONS TO ATTACHED STORM SEWER SYSTEMS PRIOR TO WRAPPING IN LINER.
- ROUGH GRADE PARKING AREA ABOVE BASIN TO PROPOSED SUB-GRADE ELEVATION AND GRADIENT.
- INSTALL TRENCH DRAINS, INLETS, STORM SEWERS, HEADWALLS, PERMANENT ROCK ENERGY DISSIPATORS, AND INLET PROTECTION.
- SPREAD TOPSOIL AND INSTALL EROSION CONTROL BLANKET IN THE BOTTOM OF THE ABOVE GROUND BASIN.
- REMOVE TEMPORARY PLYWOOD OVER BASIN ORIFICE OPENINGS AND REMOVE FILTER BAG INLET PROTECTION FROM OUTLET STRUCTURE.

NOTE: THE DETENTION BASINS (AS SHOWN ON THE PLAN) ARE PERMANENT FACILITIES AND SHALL NOT BE MODIFIED OR REMOVED UNLESS PRIOR APPROVAL IS GRANTED BY THE DEPARTMENT OF PLANNING AND NATURAL RESOURCES (DPNR). THE OWNER/ PERMITEE SHALL BE RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL GRADES AND ELEVATIONS OF SUCH FACILITIES, AND SHALL DO NOTHING TO ALTER OR DAMAGE SAME OR OTHER BASIN STRUCTURES AND DEVICES. THESE RESPONSIBILITIES SHALL INCLUDE ROUTINE LAWN CARE, REMOVAL OF ORDINARY INNOCUOUS DEBRIS THAT MAY OBSTRUCT THE PROPER OPERATION OF THE BASINS, AND MAINTENANCE OF THE STRUCTURAL INTEGRITY AND REPAIR OF ALL OUTLET PIPES, WALL STRUCTURES AND OTHER PERMANENT STRUCTURAL DEVICES. THE DPNR SHALL HAVE PERPETUAL EASEMENTS ON AND OVER THE AREAS OF THE DETENTION BASINS FOR THE PURPOSE OF EMERGENCY MAINTENANCE AND REPAIR OF SAID PERMANENT FACILITIES. THE AFORESAID RESPONSIBILITIES OF THE OWNER/PERMITEE SHALL BE SUBJECT TO ENFORCEMENT BY DPNR. IN THE EVENT THAT THE OWNER/ PERMITEE FAILS TO HONOR THE RESPONSIBILITY SET FORTH HEREIN, IN ANY MANNER, DPNR SHALL HAVE THE RIGHT OF ENTRY UPON AND WITHIN THE AREA OF THE BASINS TO UNDERTAKE SUCH CORRECTIVE OR MAINTENANCE EFFORTS. THE COST OF SUCH, AS WELL AS ADMINISTRATIVE, ENGINEERING, AND LEGAL COSTS FOR ENFORCEMENT, MAY BE IMPOSED UPON THE PERMITEE, AS DETERMINED AND ASSESSED BY DPNR.

GENERAL NOTES:

- CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANY COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN, CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

KEY:

	PROVIDE RIP-RAP CULVERT OUTLET PROTECTION
	PROVIDE INLET PROTECTION
	PROVIDE SUPER SILT FENCE
	PROVIDE ROCK CONSTRUCTION ENTRANCE
	PROVIDE TREE PROTECTION FENCE
	PROVIDE SEDIMENT BASIN BAFFLE
	PROVIDE TOPSOIL STOCKPILE AREA
	PROVIDE MATERIALS LAYDOWN AND TEMPORARY CONTRACTOR PARKING AREA
	PROVIDE RECYCLE WATER CISTERN, 50,000 GALLONS
	PROVIDE FENCING FOR CONTRACTORS LAYDOWN AND TEMPORARY PARKING AREA

BCSC DOSPIVA
Engineers • Surveyors • Planners

5001-12 Chandlers Wharf, Christiansburg, St. Croix, VI 00820
WEBSITE: WWW.BATEMANCIVILSURVEY.COM PHONE: (340)778-7474

ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

EROSION & SEDIMENT CONTROL PLAN STAGES 2 AND 3

Designed By:	MKD
Drawn By:	MKD
Checked By:	JLB
Scale:	1" = 30'
Date:	08/11/2017
Revised:	
Project Number:	16X065

C501



BCSC DOSPIVA
 Engineers • Surveyors • Planners
 5001-12 Chandlers Wharf, Christiansburg, St. Croix, VI 00820
 WEBSITE: WWW.BATEMANCIVILSURVEY.COM PHONE: (340)778-7474



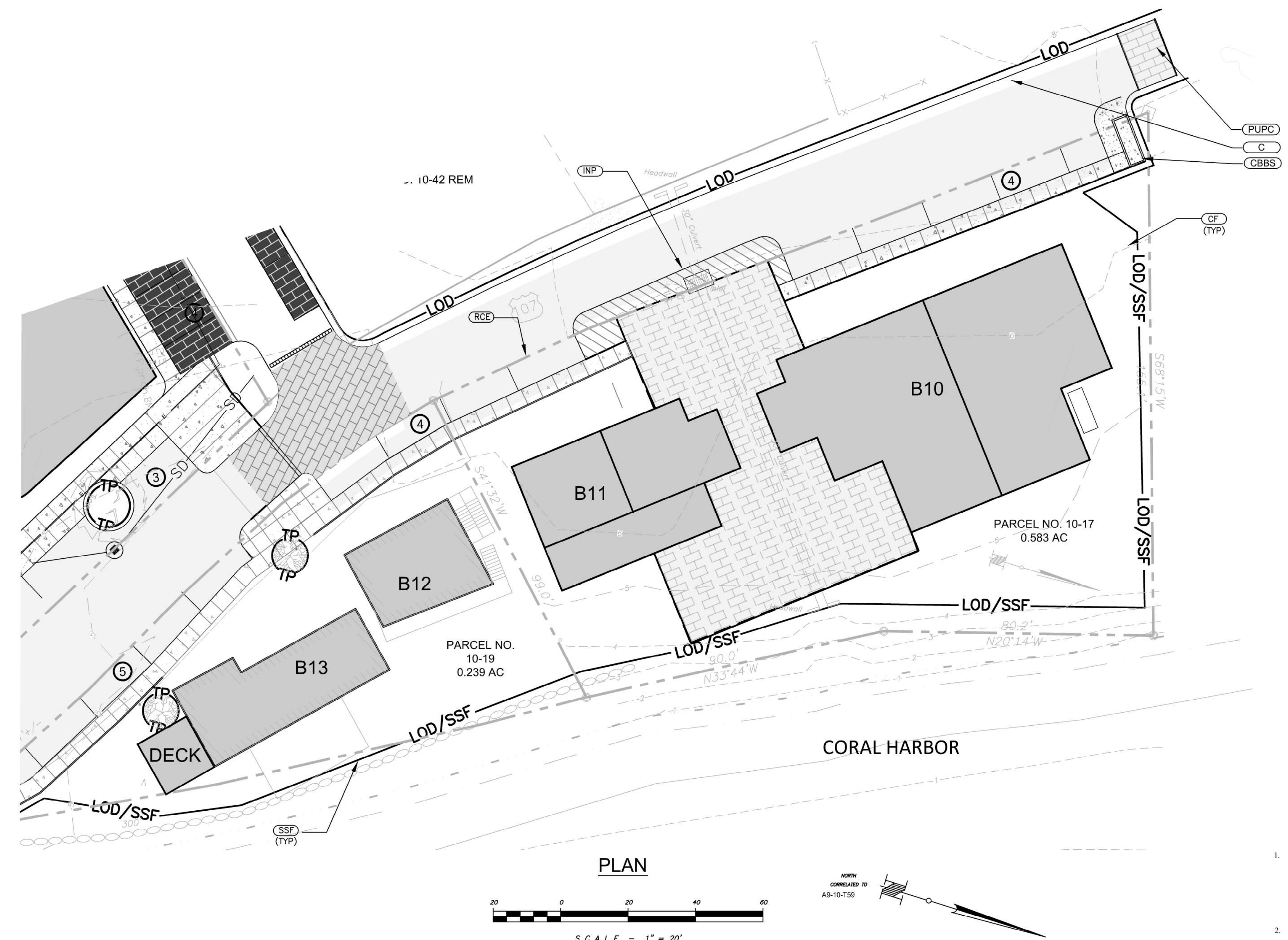
ST. JOHN MARINA
 CORAL HARBOR
 St. John, U.S. Virgin Islands

EROSION & SEDIMENT CONTROL PLAN STAGE 4

Designed By:	MKD
Drawn By:	MKD
Checked By:	JLB
Scale:	1" = 20'
Date:	08/11/2017
Revised:	

Project Number: 16X065
C502

LEGEND	
	Shore Line
	Right of Way Line
	Storm Sewer Pipe
	Fence Line
	Contour
	Building Adjacent
	Building
	Roof Overhang
	FEMA 100 Yr Floodplain
	Soil Boundry with Soil Types
	Spot Elevation
	Storm Sewer Inlet
	Storm Sewer Headwall
	Manhole
	Dry Stone Retaining Wall
	Signs
	Trees
	Cist.
	Curb
	Conc. Pvg.
	Fnc.
	Gncp.
	Open Space
	Ramp
	Spct.
	Strs
	Stlg.
	Xfcp.
	BUILDING
	PAVEMENT TO BE REMOVED
	FUTURE BUILDING
	NEW PEDESTRAIN UNIT PAVERS
	NEW LANDSCAPE AREA
	NEW CONCRETE PAVING
	NEW CONCRETE SIDEWALK
	NEW PERMEABLE PAVERS
	NEW PERMANENT TURF REINFORCEMENT MATTING
	NEW ROCK STABILIZATION BLANKET
	NEW CONTOUR
	NEW SPOT GRADE
	PARKING SPACES
	NEW MANHOLE
	NEW OUTLET STRUCTURE
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	NEW STORM LINE
	NEW SANITARY LINE
	NEW SANITARY FORCE MAIN
	NEW WATER LINE
	NEW RECYCLED WATER LINE
	NEW UNDERGROUND ELECTRIC LINE
	NEW UNDERGROUND STORM WATER MANAGEMENT AREA
	NEW VERTICAL STONE INTERCEPTOR DRAIN
	NEW TRENCH DRAIN
	NEW END WALL
	LIMIT OF DISTURBANCE/TREE PROTECTION FENCE
	LIMIT OF DISTURBANCE/SILT FENCE
	LIMIT OF DISTURBANCE
	LIMIT OF DISTURBANCE



GENERAL NOTES:

- CONTRACTOR SHALL INSPECT AND VERIFY ALL FIELD DIMENSIONS AND SITE CONDITIONS SHOWN HEREIN BEFORE PROCEEDING WITH THE WORK. DISCREPANCIES BETWEEN FIELD CONDITIONS AND THESE PLANS SHALL BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO ANY COMMENCEMENT OF THE WORK. ONCE CONSTRUCTION HAS BEGUN CONTRACTOR SHALL NOT USE FIELD INFORMATION DISCREPANCIES AS THE BASIS FOR CHANGE ORDER CLAIMS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ARE APPROXIMATE ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTORS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

KEY:

(COP)	PROVIDE RIP-RAP CULVERT OUTLET PROTECTION
(INP)	PROVIDE INLET PROTECTION
(SSF)	PROVIDE SUPER SILT FENCE
(RCE)	PROVIDE ROCK CONSTRUCTION ENTRANCE
(TFE)	PROVIDE TREE PROTECTION FENCE
(SBB)	PROVIDE SEDIMENT BASIN BAFFLE
(COP)	PROVIDE RIP-RAP CULVERT OUTLET PROTECTION
(TSA)	PROVIDE TOPSOIL STOCKPILE AREA
(LDA)	PROVIDE MATERIALS LAYDOWN AND CONTRACTOR TEMPORARY CONTRACTOR PARKING AREA
(CF)	PROVIDE FENCING FOR CONTRACTORS LAYDOWN AND TEMPORARY PARKING AREA

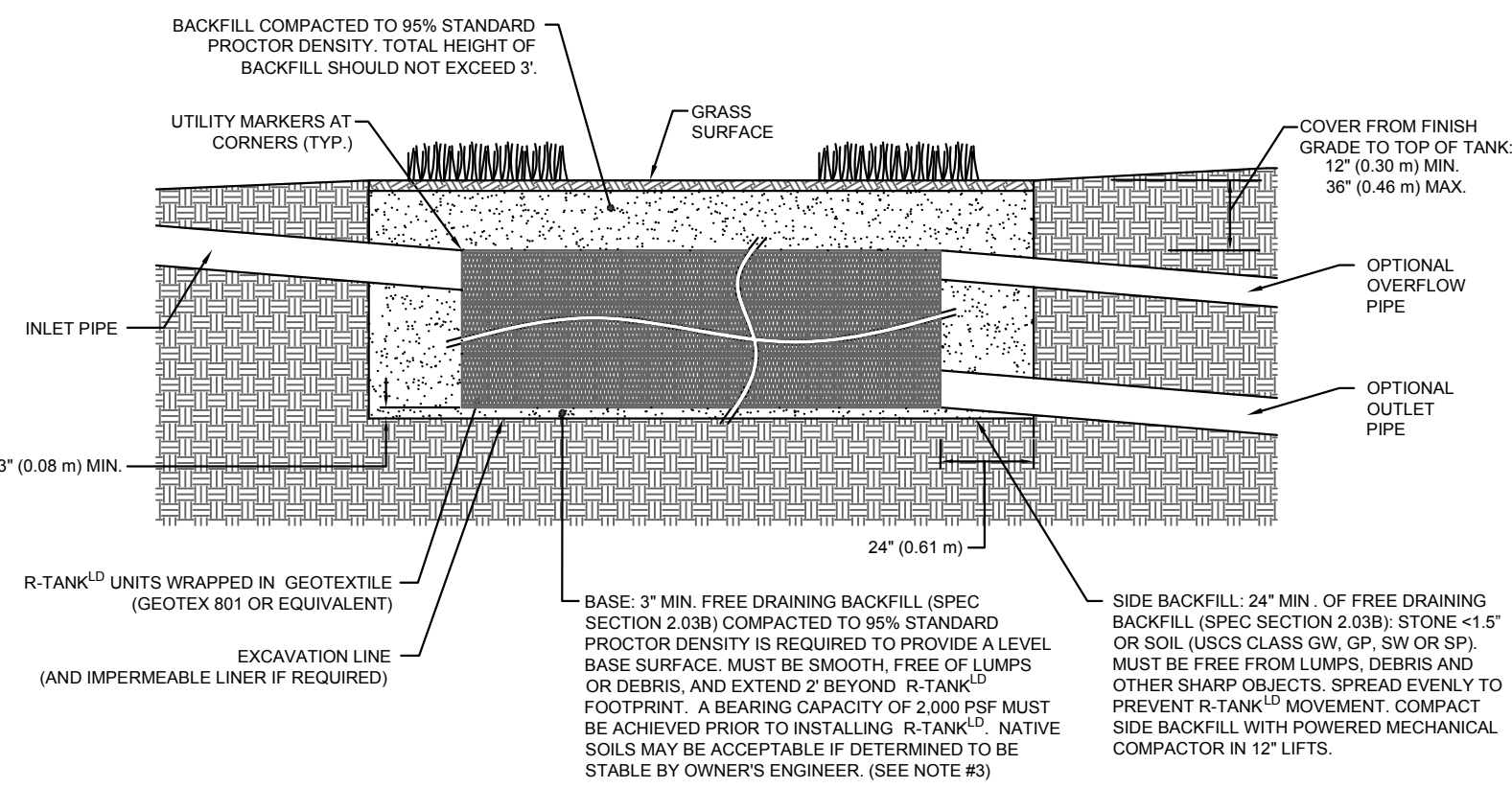
STAGE 5 - FUTURE BUILDING AREAS:

- FUTURE BUILDING CONSTRUCTION SHALL PROCEED ON A BUILDING BY BUILDING BASIS, AS REQUIRED.
- INSTALL PERIMETER EROSION AND SEDIMENT CONTROL DEVICES INCLUDING SILT FENCE, COMPOST SILT SOCK, AND OTHER FACILITIES AS DIRECTED ON THE BUILDING PERMIT PLANS.
- CONTRACTOR/OWNER IS RESPONSIBLE FOR ENSURING THAT NO EROSION OR CONTAMINATED MATERIALS ARE DISCHARGED DURING THIS STAGE OF CONSTRUCTION.
- CONSTRUCT BUILDINGS AND ASSOCIATED IMPROVEMENTS AND UTILITIES.
- FINISH GRADE REMAINING LOT AREAS, CONSTRUCT LANDSCAPING, AND PERMANENTLY SEED AND STABILIZE ON A BUILDING BY BUILDING BASIS AS THE BUILDINGS ARE CONSTRUCTED.
- THE STANDARD FOR A STABILIZED, EROSION RESISTANT, PERENNIAL VEGETATIVE COVER WILL BE A UNIFORM COVERAGE OR DENSITY OF 70% ACROSS THE DISTURBED AREA. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY. GRADE AND PERMANENTLY SEED REMAINING DISTURBED AREAS.

STAGE 4 - PARCEL 10-17 CONSOLIDATED & 10-19

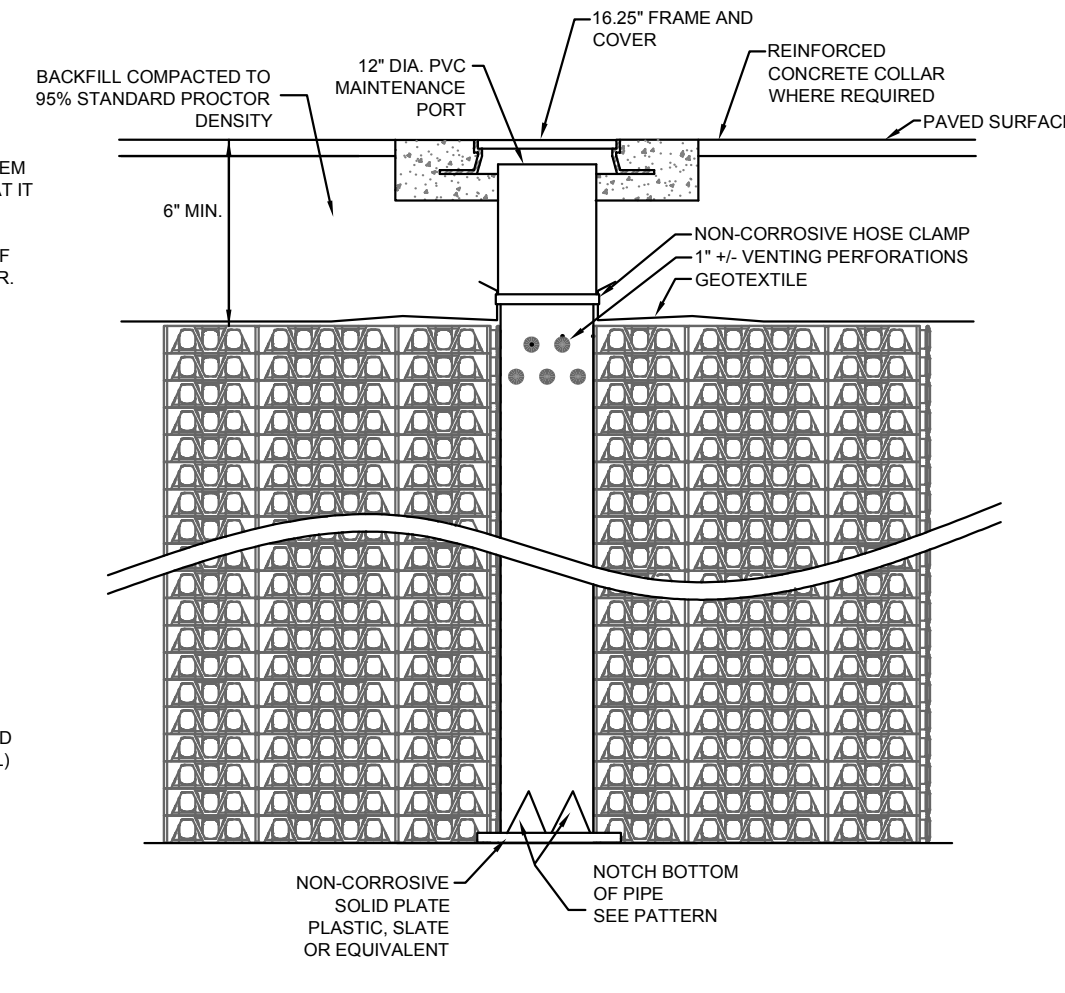
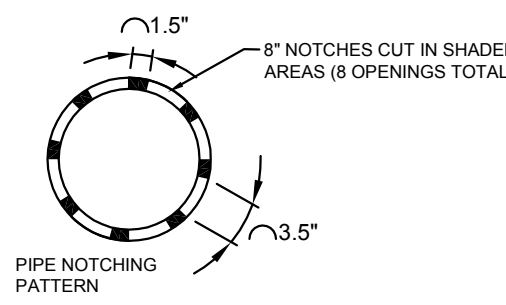
- USE ROCK CONSTRUCTION ENTRANCE AND OTHER CONTROLS ALREADY IN PLACE ON LOT 10-17, 18 & 19.
- CLEAR AND GRUB AREAS WITHING STAGE. REMOVE EXISTING STRUCTURES, CONCRETE, AND GRAVEL AREAS.
- STRIP TOPSOIL FROM PROPOSED AREAS. REMOVE OR STOCKPILE TOPSOIL WHERE INDICATED ON PLAN FOR USE WITH FINAL GRADING. INSTALL PERIMETER FILTER FABRIC FENCE OR COMPOST SILT SOCK. MULCHING TO THE STOCKPILES. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET. STOCKPILE SLOPES MUST BE 2:1 OF FLATTER.
- ROUGH GRADE DRIVEWAY, BUILDING AND LOT AREAS TO THE PROPOSED SUB-GRADE ELEVATION AND GRADIENT.
- CONSTRUCT IMPROVEMENTS TO EXISTING BUILDINGS ON LOT 10-19.
- INSTALL NEW WATER AND SANITARY SEWER TREATMENT FACILITIES.
- INSTALL PARKING AREAS AND OTHER ASSOCIATED IMPROVEMENTS AND UTILITIES.
- FINISH GRADE REMAINING LOT AREAS, SPREAD TOPSOIL, CONSTRUCT LANDSCAPING, AND PERMANENTLY SEED AND STABILIZE.
- AFTER STAGE 4 STABILIZATION HAS BEEN ACHIEVED, ALL REMAINING TEMPORARY EROSION AND SEDIMENT CONTROLS MUST BE REMOVED. THE STANDARD FOR A STABILIZED, EROSION RESISTANT, PERENNIAL VEGETATIVE COVER WILL BE A UNIFORM COVERAGE OR DENSITY OF 70% ACROSS THE DISTURBED AREA. AREAS DISTURBED DURING REMOVAL OF THE CONTROLS MUST BE STABILIZED IMMEDIATELY.
- COMPLETE ROADWAY IMPROVEMENTS.
- INSTALL GRAVEL BASE COURSE.
- INSTALL CONCRETE SURFACE COURSE AFTER ALL OTHER WORK HAS BEEN COMPLETED.
- ALLOW APPROPRIATE CURING TIME PRIOR TO DIRECTING TRAFFIC ONTO NEW ROADWAY SURFACES.
- WHEN AREAS OF INSTALLED ROADWAY ARE SUITABLE FOR USE, BEGIN WORK ON OPPOSITE SIDE OF ROADWAY IN SAME MANNER AS DESCRIBED ABOVE.
- REMOVE SILT FENCE/COMPOST SILT SOCK.
- REMOVE PERIMETER BARRIER.
- REMOVE INLET FILTERS.
- REMOVE ALL TEMPORARY LAYDOWN AREA MATERIALS AND FENCING.
- REMOVE ROCK CONSTRUCTION ENTRANCE.
- REMOVE ANY REMAINING TEMPORARY EROSION AND SEDIMENT CONTROLS AND SEED AND STABILIZE ANY REMAINING DISTURBED AREAS.

- NOTES:**
- FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK^{XD} SHEET (MIN. MODULE, SINGLE MODULE, DOUBLE MODULE, TRIPLE MODULE, QUAD MODULE, OR PENTA MODULE).
 - PRE-TREATMENT STRUCTURES NOT SHOWN.
 - FOR INFILTRATION APPLICATIONS, BASE SHALL BE 4" MIN. UNCOMPACTED FREE DRAINING BACKFILL (SPEC SECTION 2.03B) TO PROVIDE A LEVEL BASE SURFACE. MUST BE SMOOTH, FREE OF LUMPS OR DEBRIS, AND EXTEND 2' BEYOND R-TANK^{XD} FOOTPRINT. A BEARING CAPACITY OF 2,000 PSF MUST BE ACHIEVED PRIOR TO INSTALLING R-TANK^{XD}.

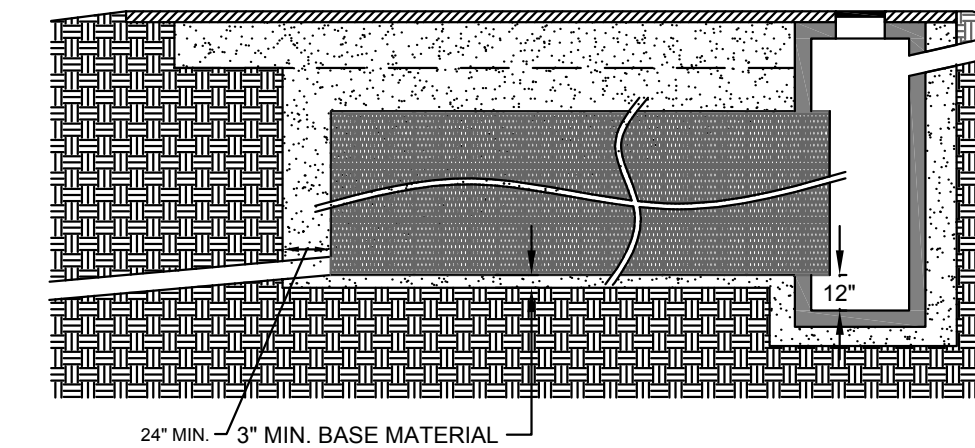


R-TANK^{XD} IN GREEN SPACE - SECTION VIEW

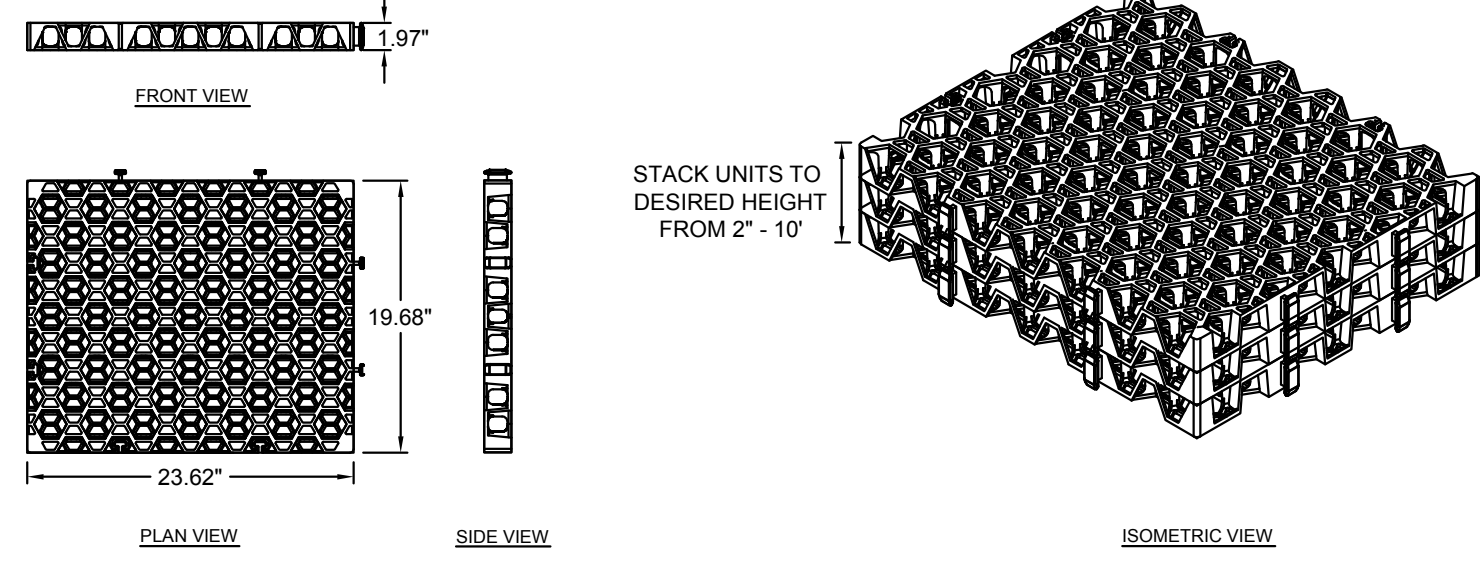
- NOTES:**
- THIS PORT IS USED TO PUMP WATER INTO THE SYSTEM AND RE-SUSPEND ACCUMULATED SEDIMENT SO THAT IT MAY BE PUMPED OUT.
 - MINIMUM REQUIRED MAINTENANCE INCLUDES A QUARTERLY INSPECTION DURING THE FIRST YEAR OF OPERATION AND A YEARLY INSPECTION THEREAFTER. FLUSH AS NEEDED.



R-TANK^{XD} TYPICAL MAINTENANCE PORT



R-TANK INLET CONNECTION

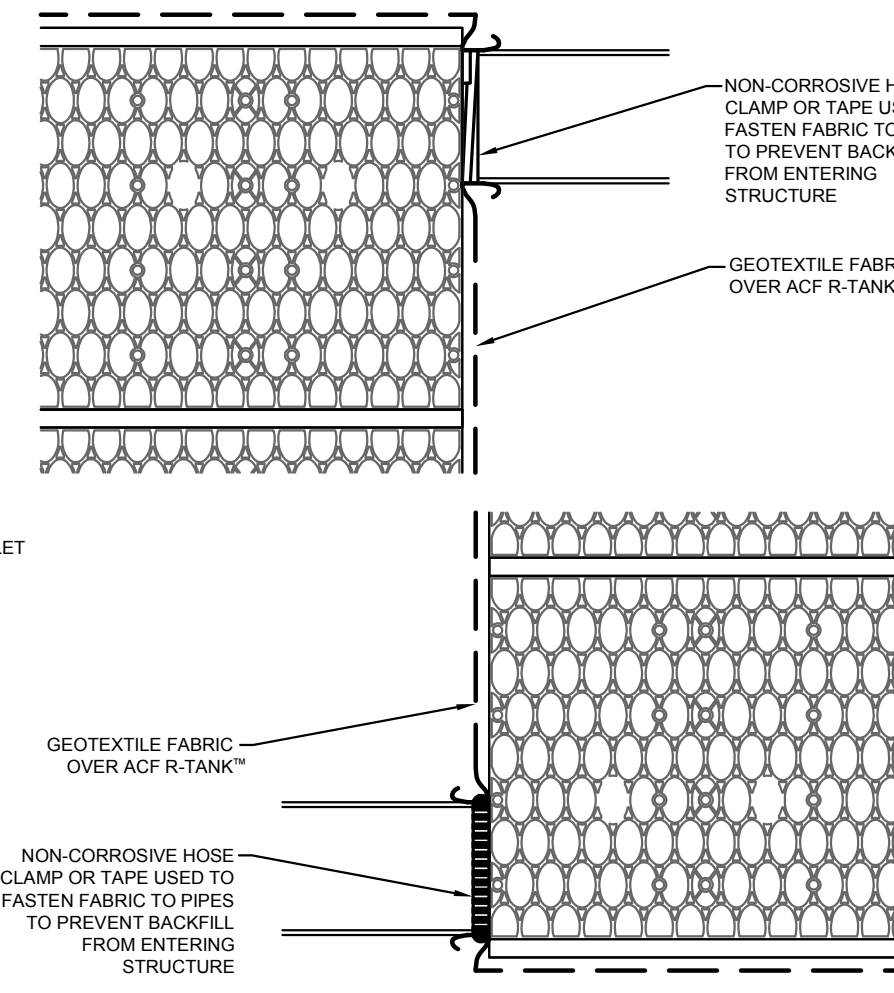
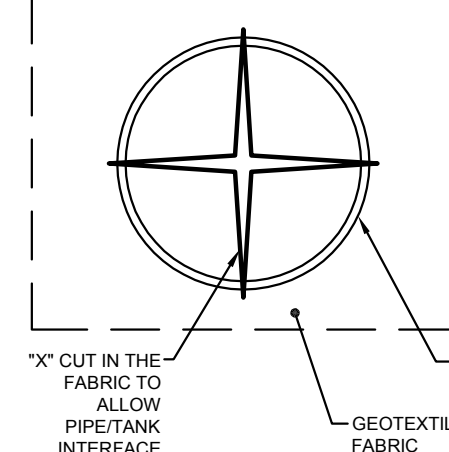


MODULE DATA

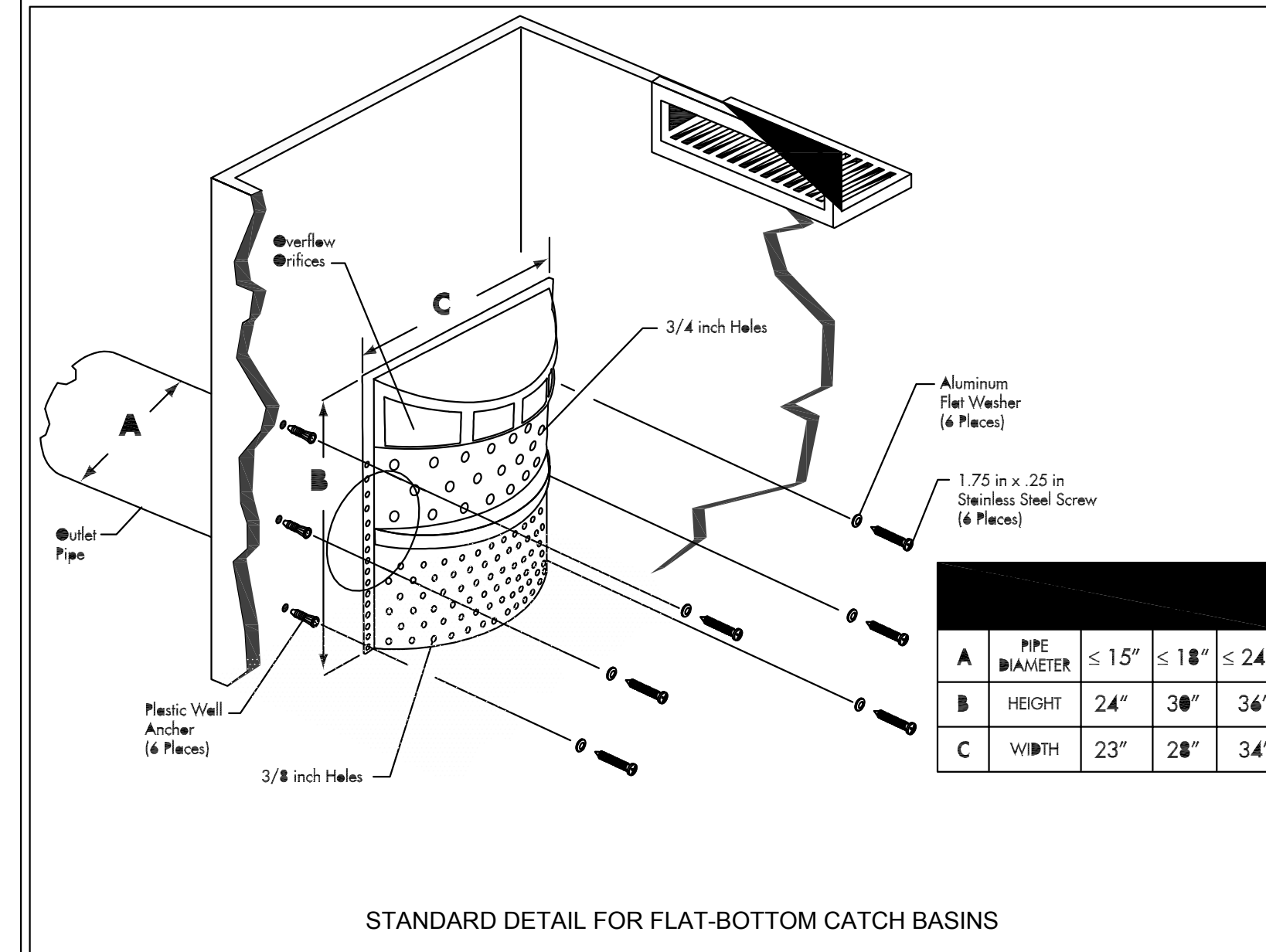
GEOMETRY: LENGTH = 23.62 IN. WIDTH = 19.68 IN. HEIGHT = 1.97 IN. TANK VOLUME = 0.53 CF STORAGE VOLUME = 0.48 CF VOID INTERNAL VOLUME: 95%	LOAD RATING: 320 PSL (MODULE ONLY) HS2S (WITH ACF COVER SYSTEM)	MATERIAL: 100% RECYCLED POLYPROPYLENE
---	---	--

R-TANK^{XD}

END VIEW OF PIPE/FABRIC CONNECTION. CUT AN "X" IN THE FABRIC SLIGHTLY LARGER THAN PIPE. PULL THE FABRIC AROUND THE PIPE TO CREATE THE "BOOT" AND THEN SECURE WITH A HOSE CLAMP.

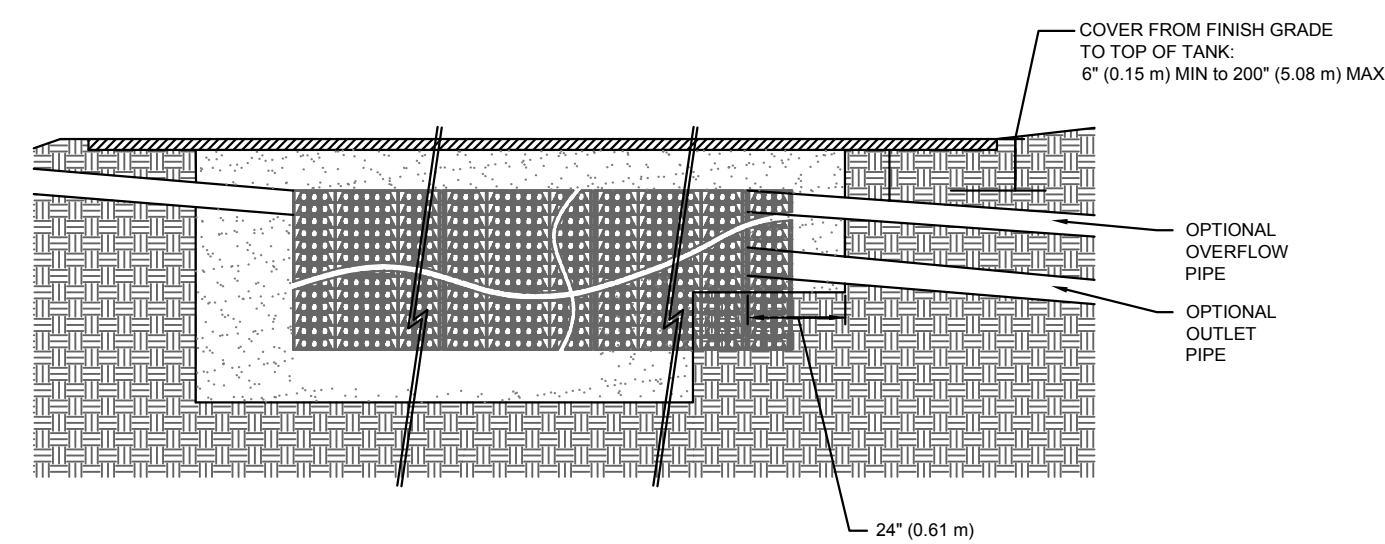


R-TANK TYPICAL TANK INLET/OUTLET DETAIL

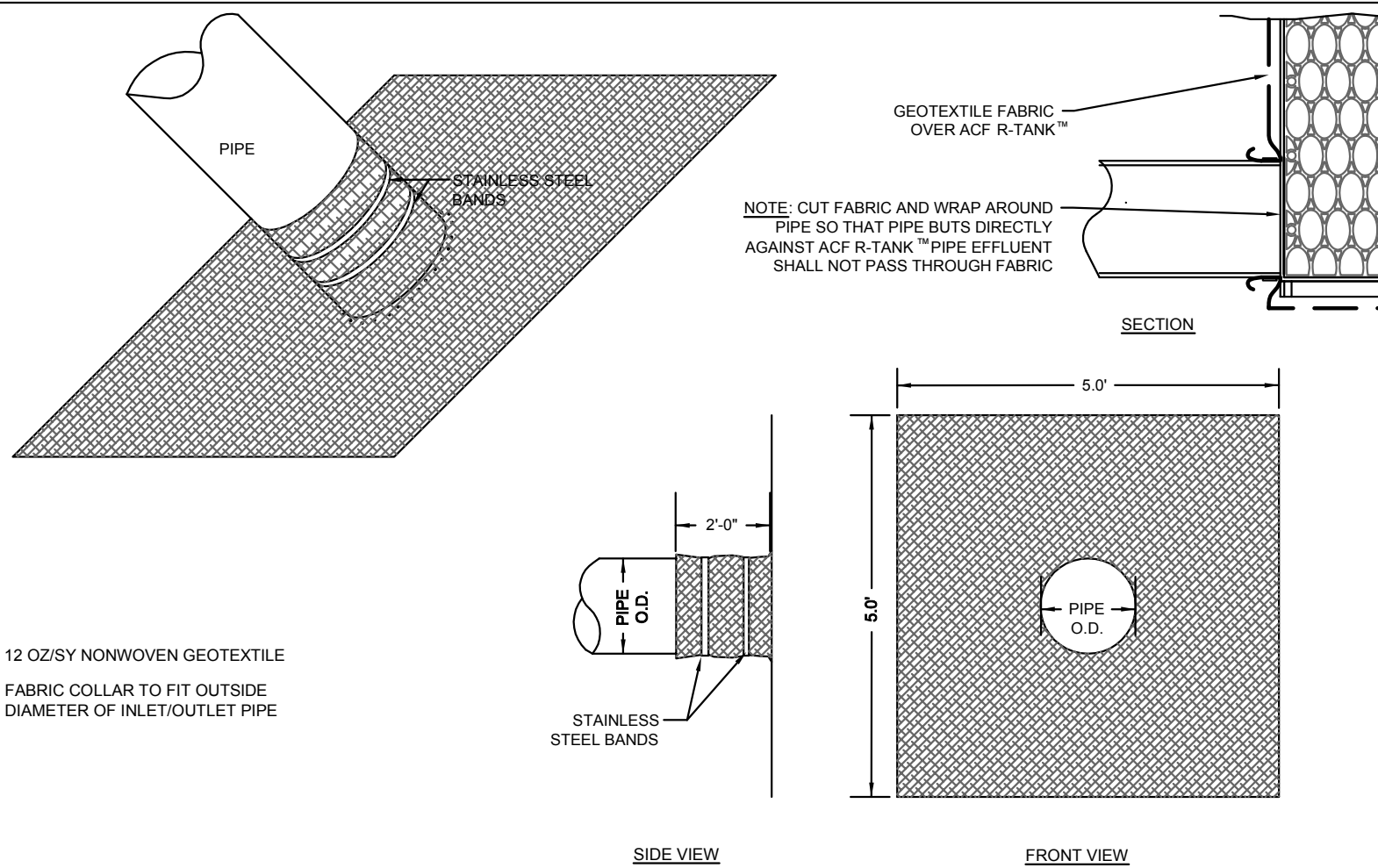


STANDARD DETAIL FOR FLAT-BOTTOM CATCH BASINS

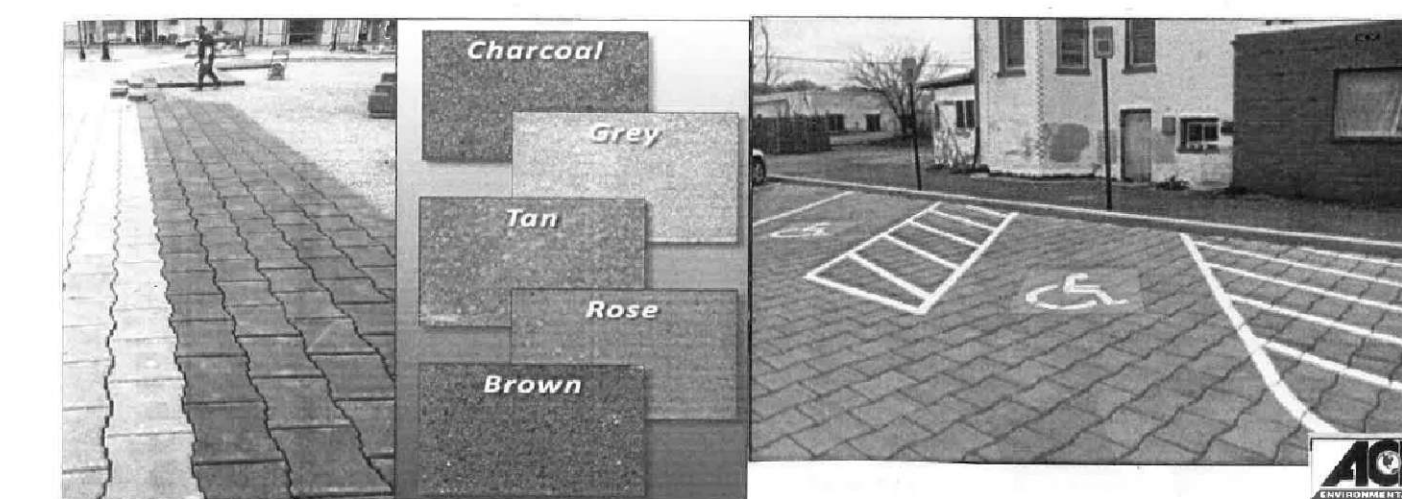
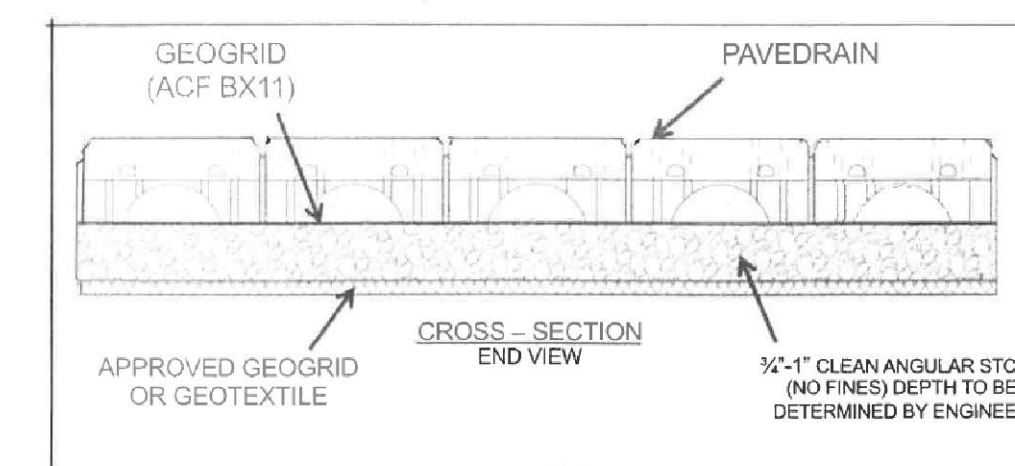
- NOTES:**
- FOR COMPLETE MODULE DATA, SEE APPROPRIATE R-TANK^{XD} MODULE SHEET
 - PRE-TREATMENT STRUCTURES NOT SHOWN



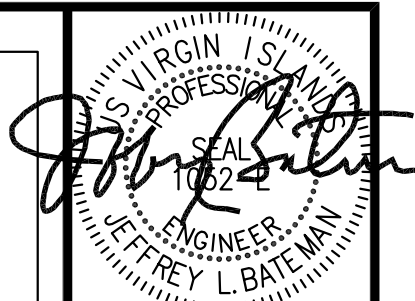
R-TANK^{XD} - FOREBAY DETAIL



FABRIC PIPE BOOT FOR R-TANKTM



TYPICAL PAVEDRAIN DETAIL



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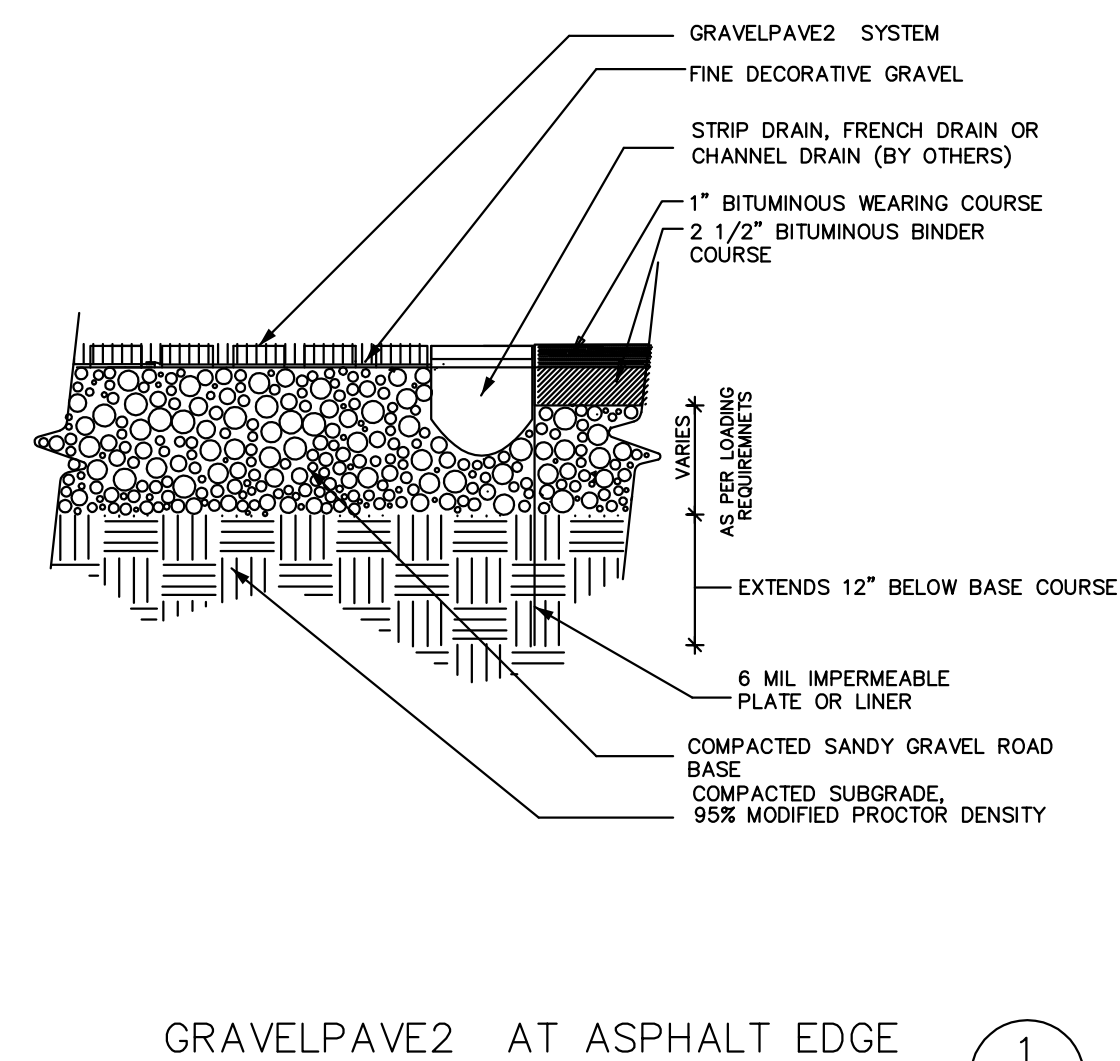
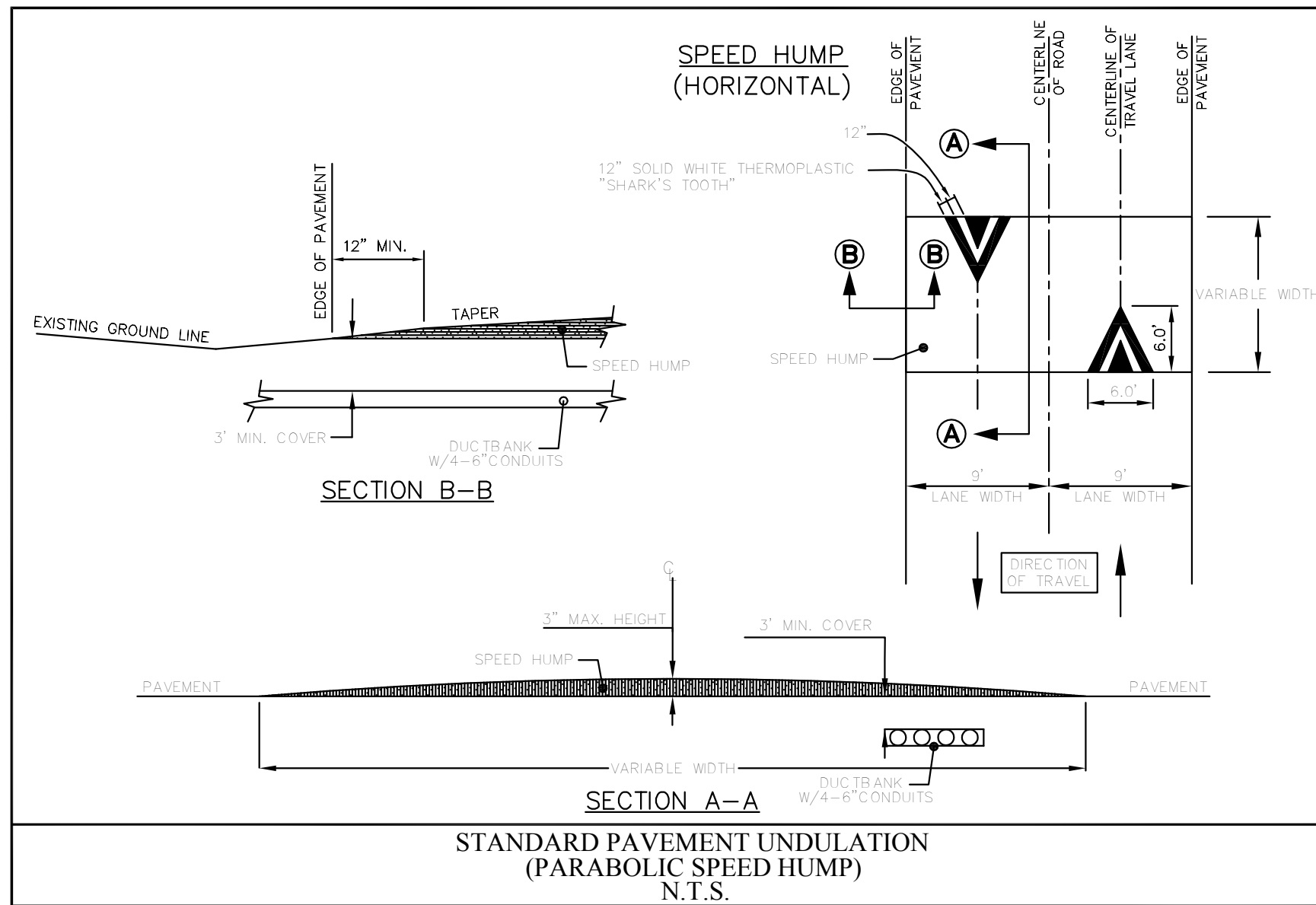


ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

SITE PLAN DETAILS

Designed By: MKD
Drawn By: MKD
Checked By: JLB
Scale: N.T.S.
Date: 08/11/2017
Revised:
Project Number: 16X065

C600



GRAVELPAVE2 AT ASPHALT EDGE

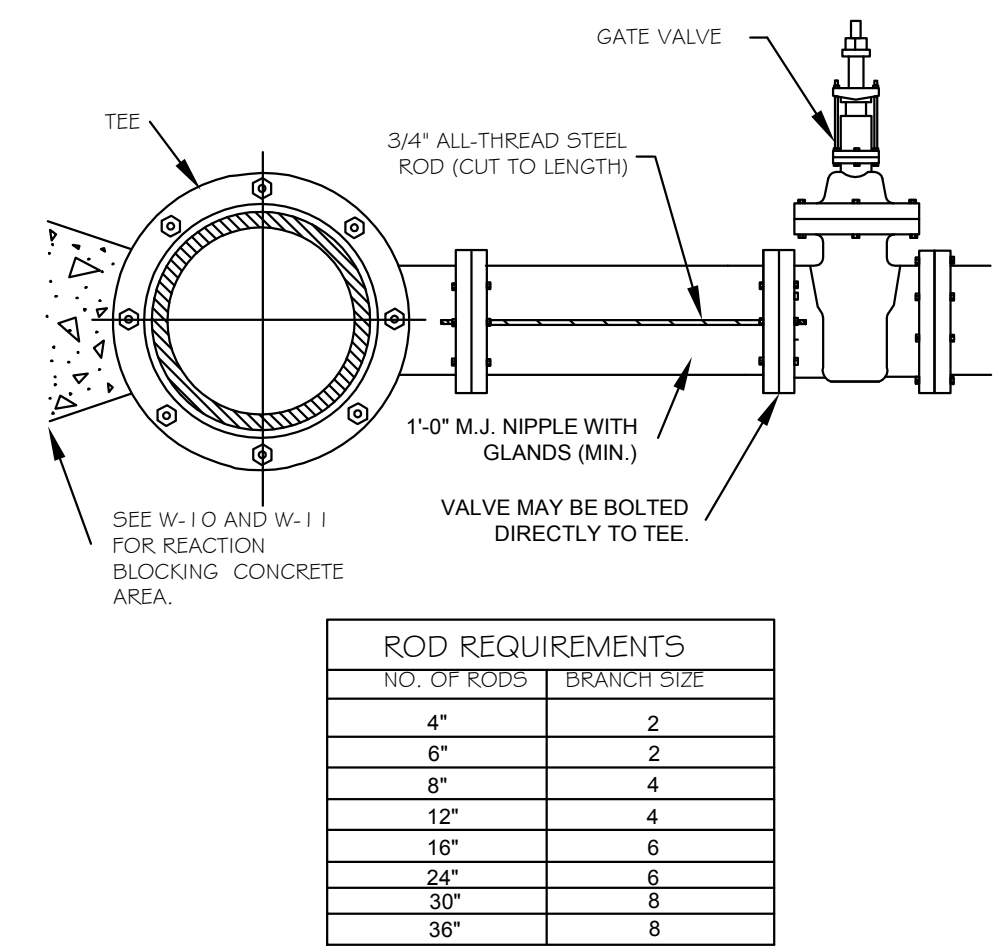
NOT TO SCALE

CHOOSE THIS PRODUCT FOR REINFORCING GRAVEL PARKING SURFACES IN FREEZE/THAW OR WET CLIMATES

1600 Jackson St., Suite 370
Golden, CO 80401
800-333-0111 or 303-333-4343
Fax: 303-333-8840
www.invisiblestructures.com
Rev. 08/14

Invisible Structures, Inc.
GVZ-ASPF1.dwg

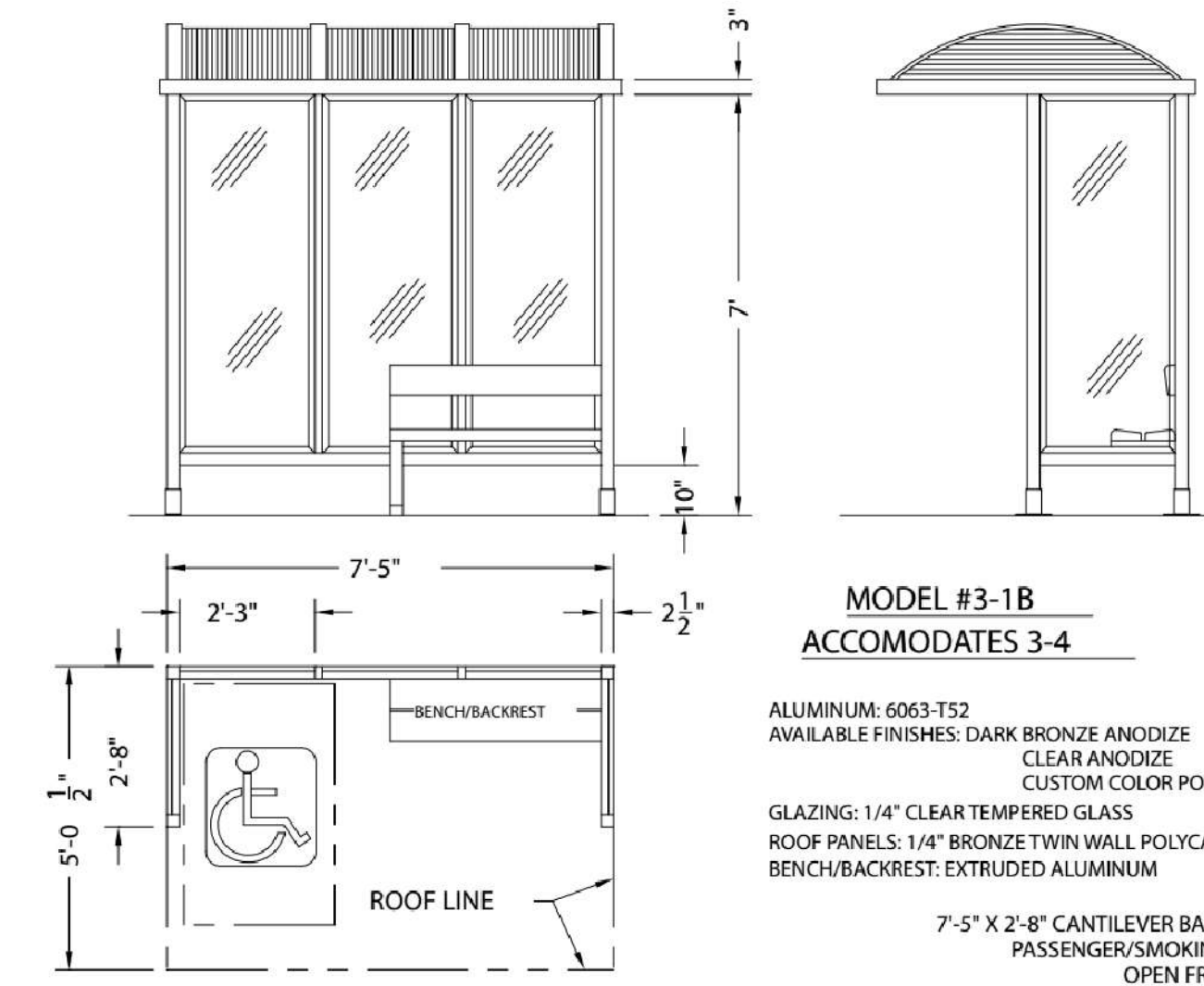
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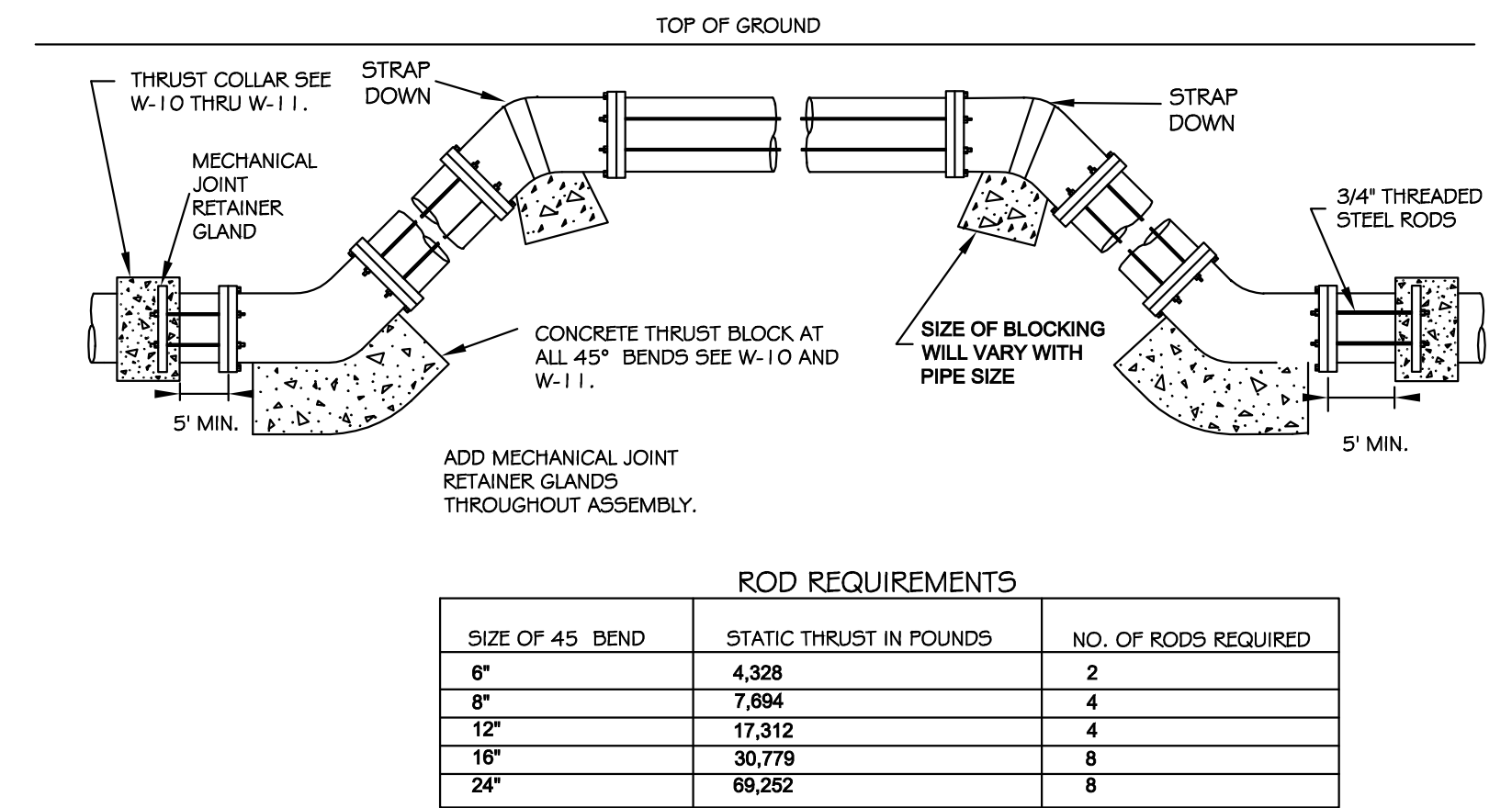
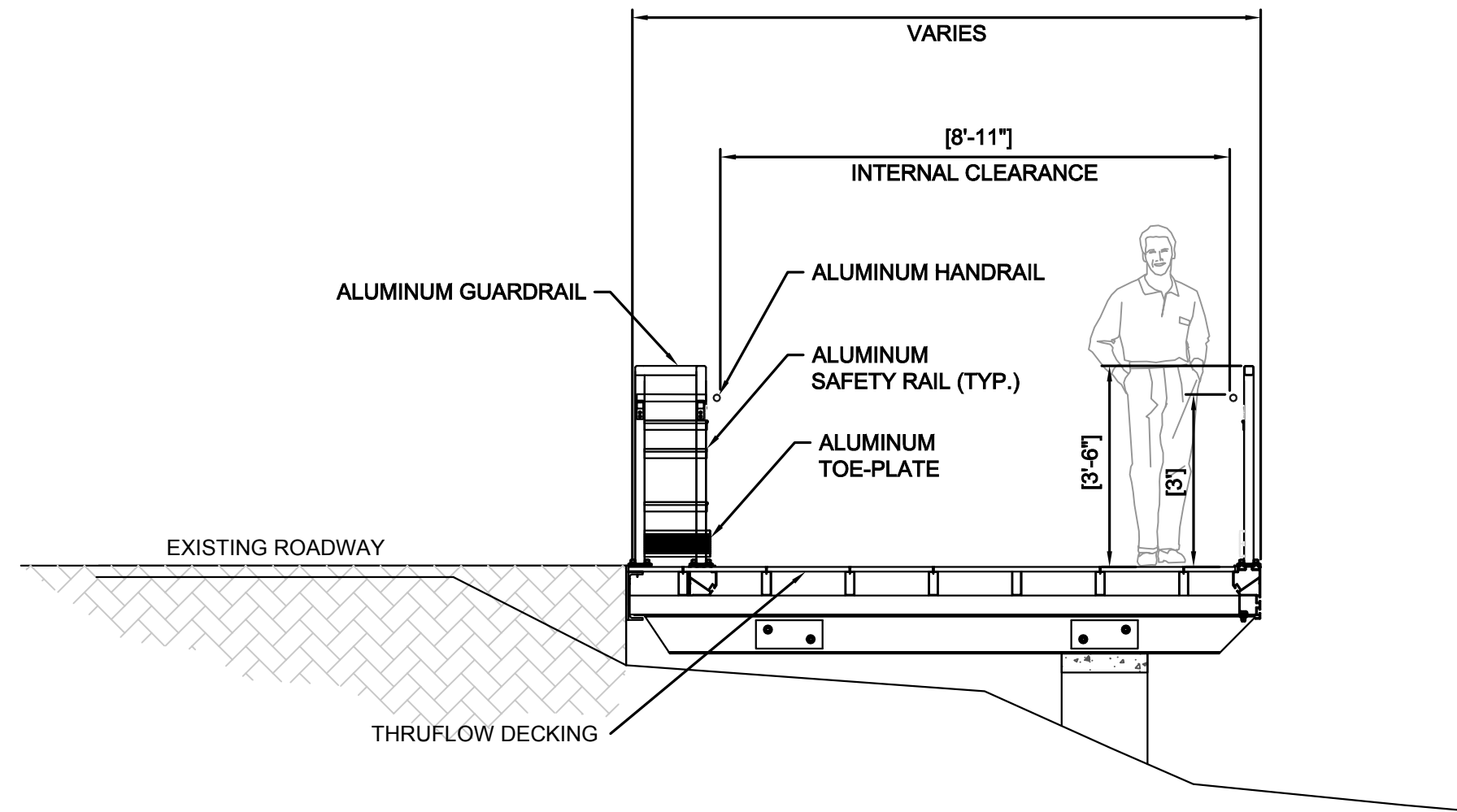
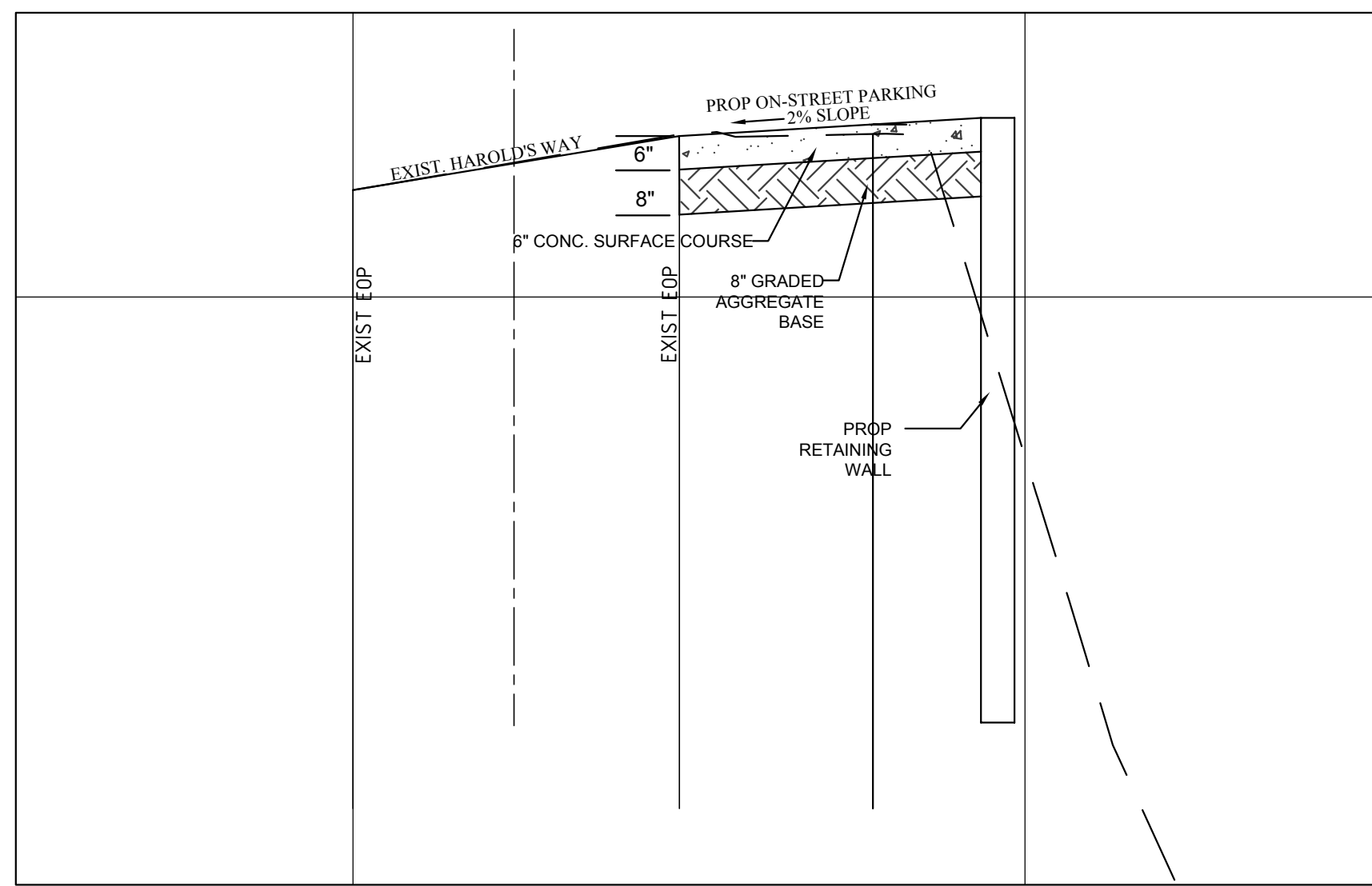
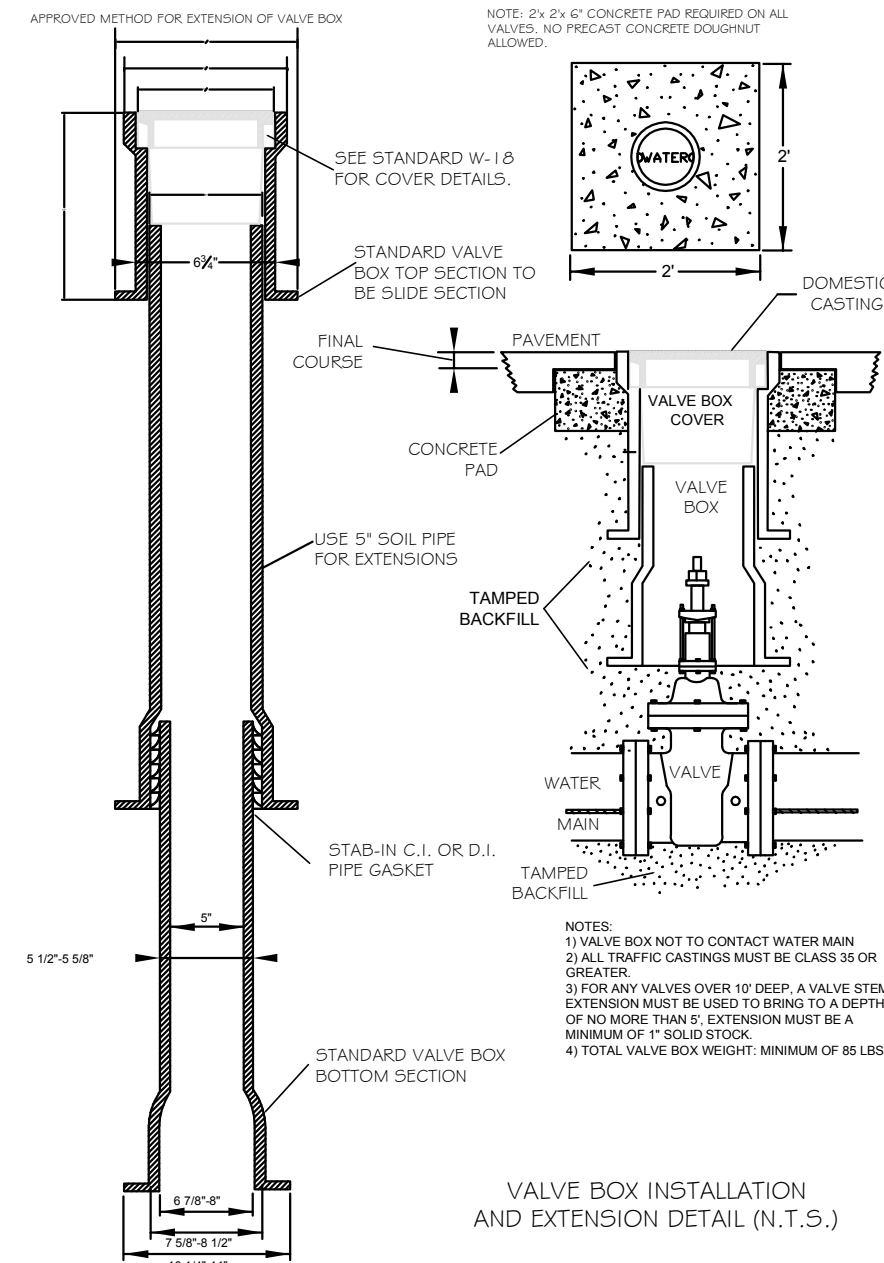
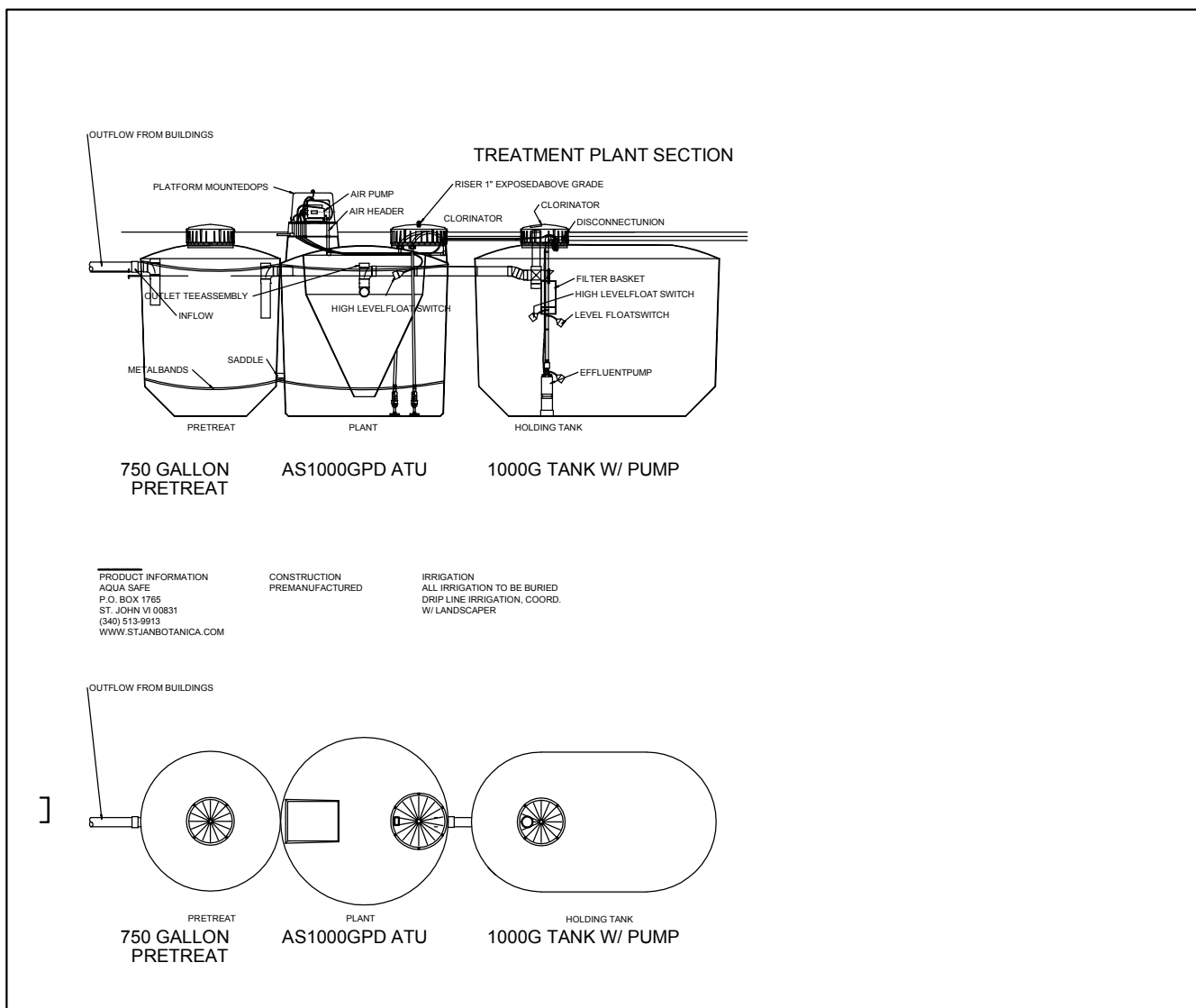
ROD REQUIREMENTS

NO. OF RODS	BRANCH SIZE
4"	2
6"	4
8"	4
12"	4
16"	6
24"	6
30"	8
36"	8

- NOTES:
- STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
 - SEE STANDARD THRUST BLOCK, TABLES W-10 AND W-11 FOR CONCRETE.
 - CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL FITTINGS.
 - THIS RODDING REQUIREMENT DOES NOT APPLY TO FIRE HYDRANTS.



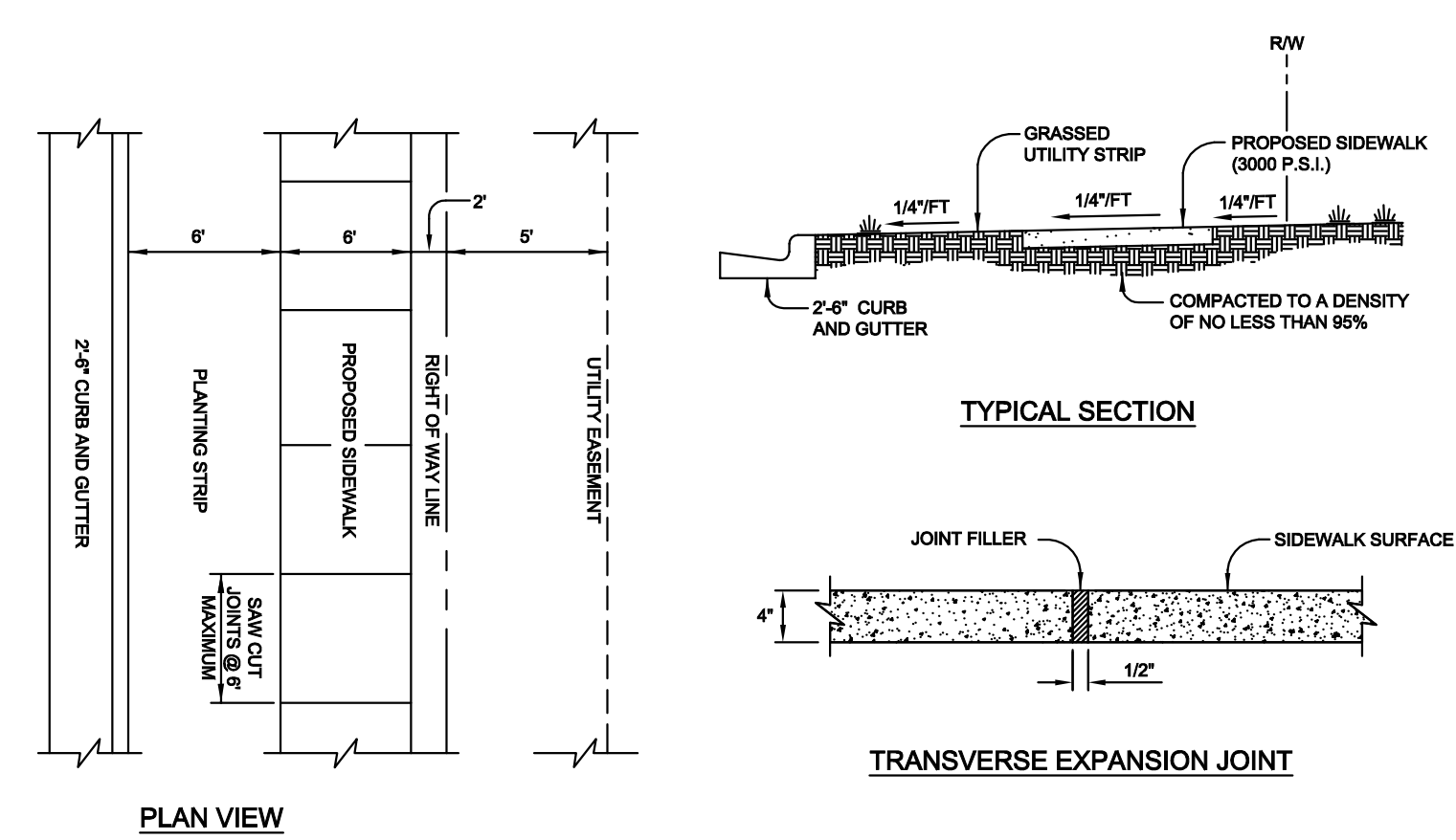
RECOMMENDED PAD SIZE: 9'-6" X 7'-0" X 6" THICK MINIMUM



ROD REQUIREMENTS

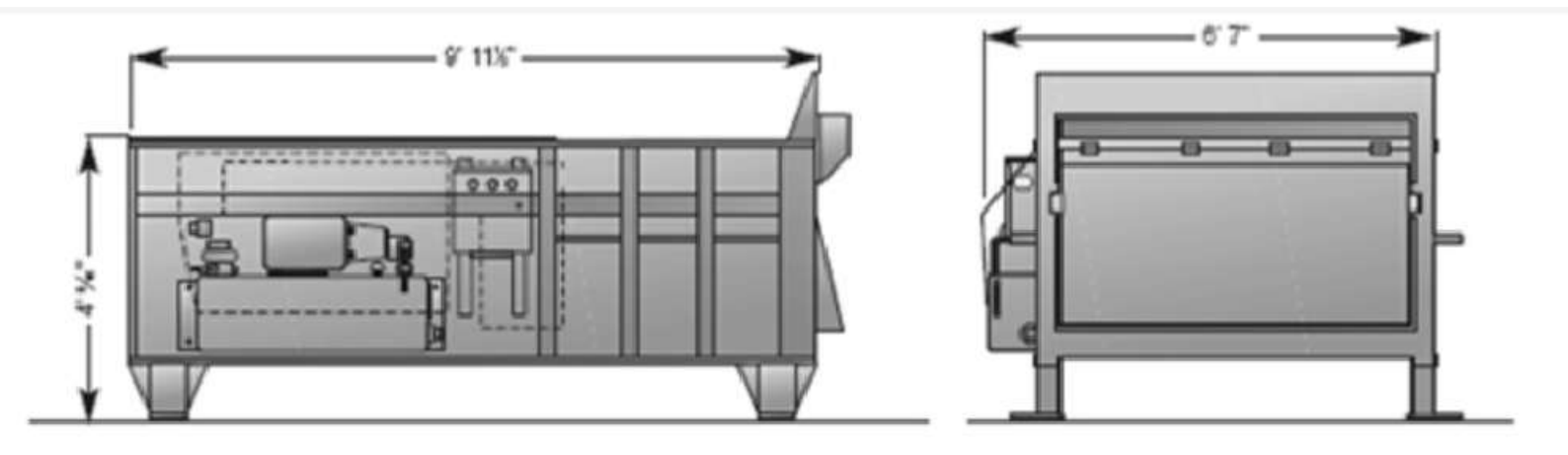
SIZE OF 45° BEND	STATIC THRUST IN POUNDS	NO. OF RODS REQUIRED
6"	4,328	2
8"	7,684	4
12"	17,312	4
16"	30,779	8
24"	69,252	8

- GENERAL NOTES:
- STEEL RODS AND BOLTS SHALL BE 3/4" HOT DIPPED GALVANIZED.
 - CONCRETE SHALL NOT CONTACT BOLTS OR ENDS OF MECHANICAL JOINT BENDS.
 - RESTRAINED MECHANICAL GLANDS TO BE USED AT ALL FITTINGS.
 - MUST USE DUCTILE IRON EYE BOLTS WHERE NECESSARY.
 - 3" MINIMUM COVER MUST BE MAINTAINED ON ALL WATER MAINS



- NOTES**
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 50 FEET.
 2. ALL CONCRETE TO BE 3000 PSI AND FINISHED WITH CURING COMPOUND.
 3. A 6 INCH DEPTH IS REQUIRED AT LOCATIONS OF DRIVEWAY CROSSINGS, AT STREET INTERSECTIONS (ALONG THE LENGTH OF RADIUS CURB RETURNS), AND IN THE HANDICAP RAMPS.

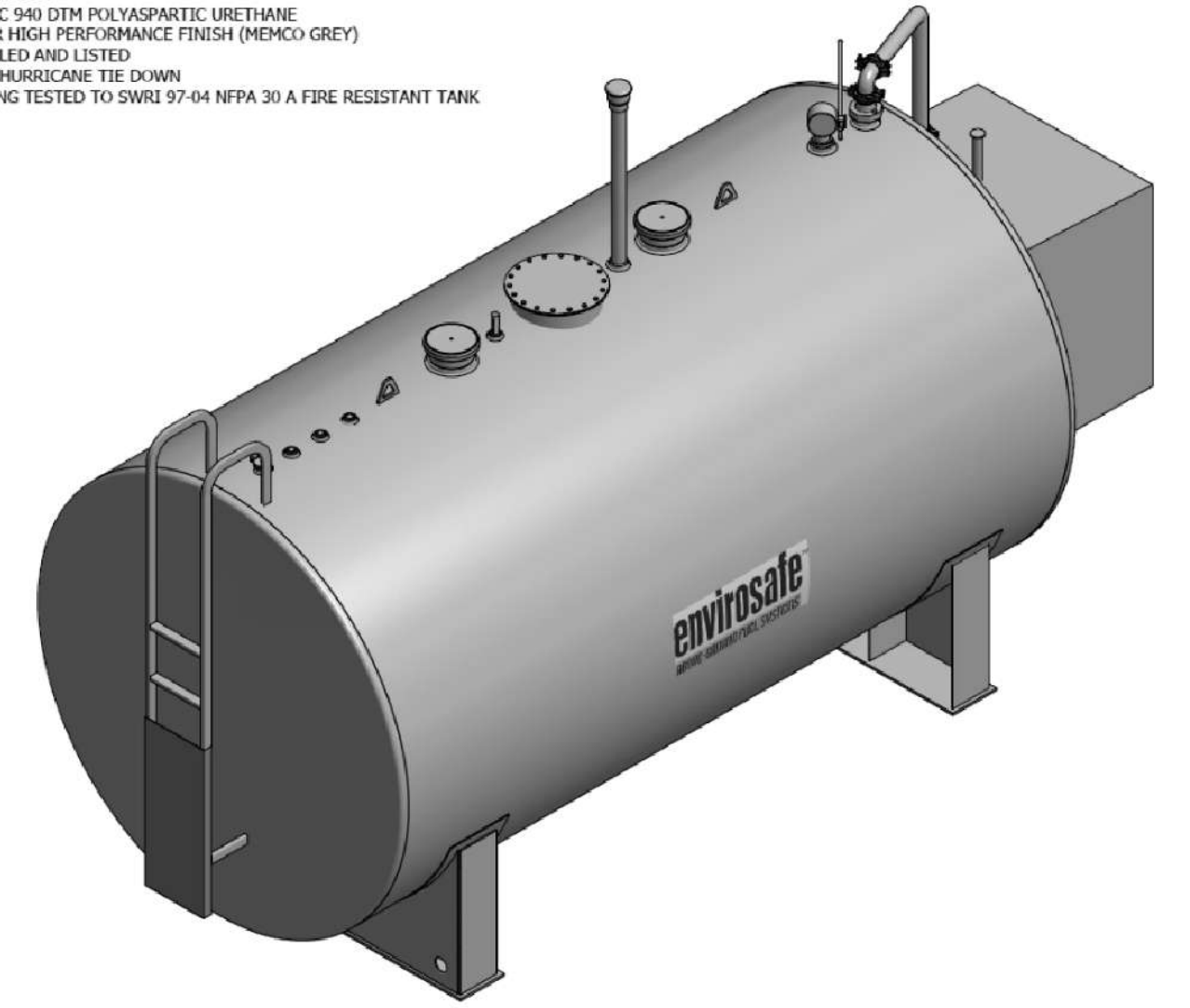
CONCRETE SIDEWALK DETAIL (N.T.S.)



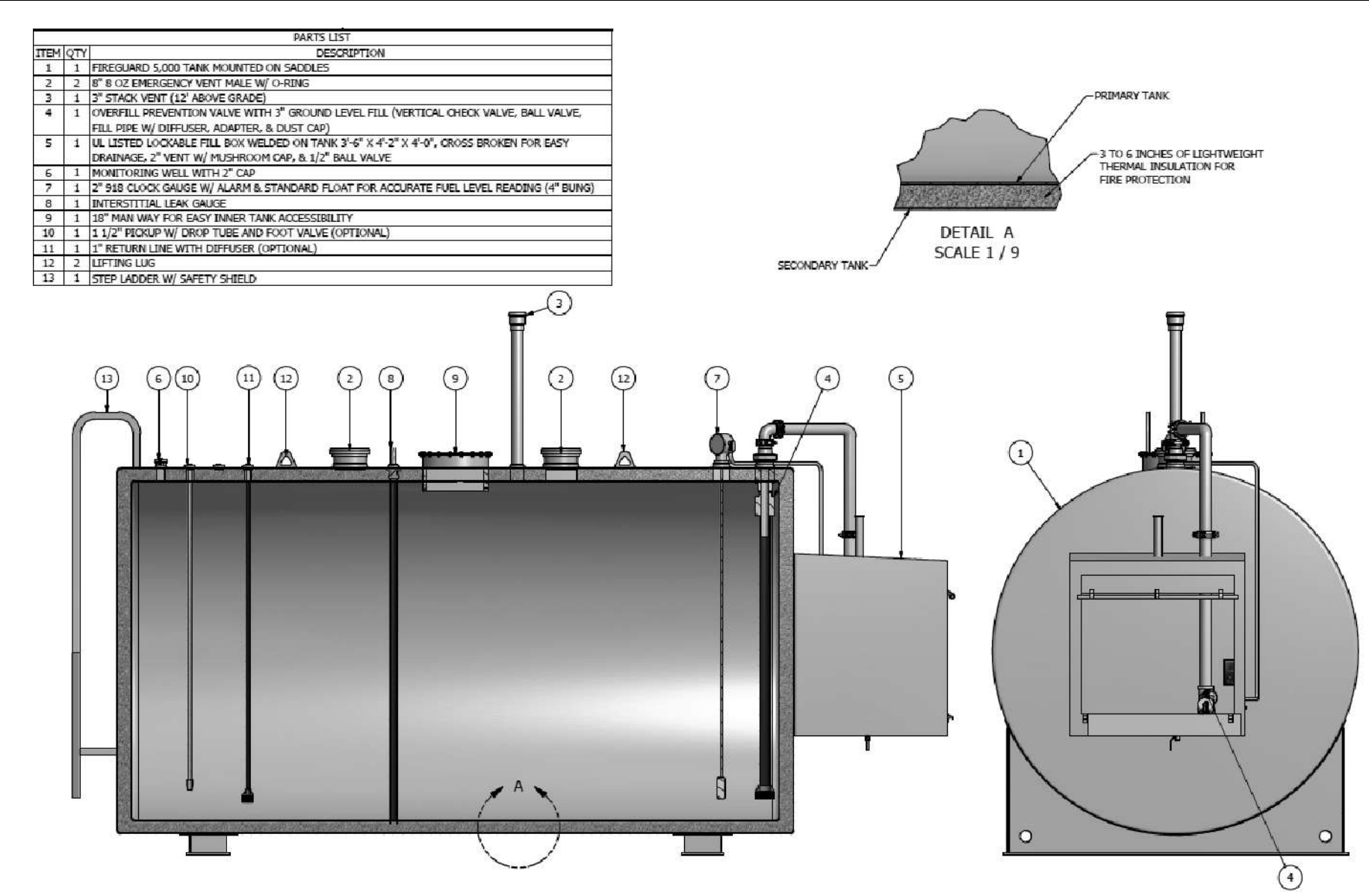
2-Yard Stationary Compactor

SOLID WASTE COMPACTOR/STORAGE

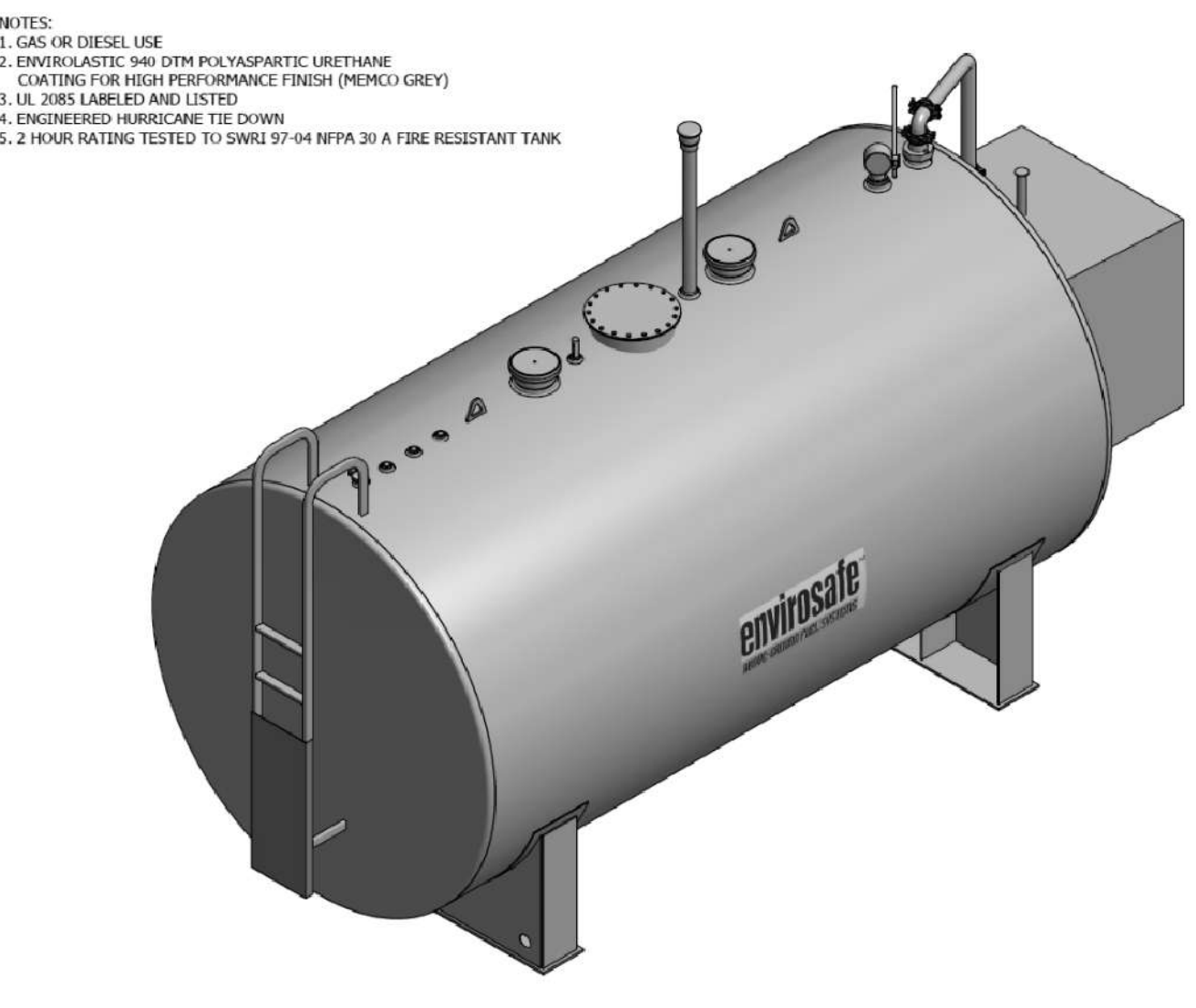
- NOTES**
1. GAS OR DIESEL USE
 2. ENVIRALASTIC 940 DTM POLYASPARTIC URETHANE COATING FOR HIGH PERFORMANCE FINISH (MEXCO GREY)
 3. 1/2\"/>



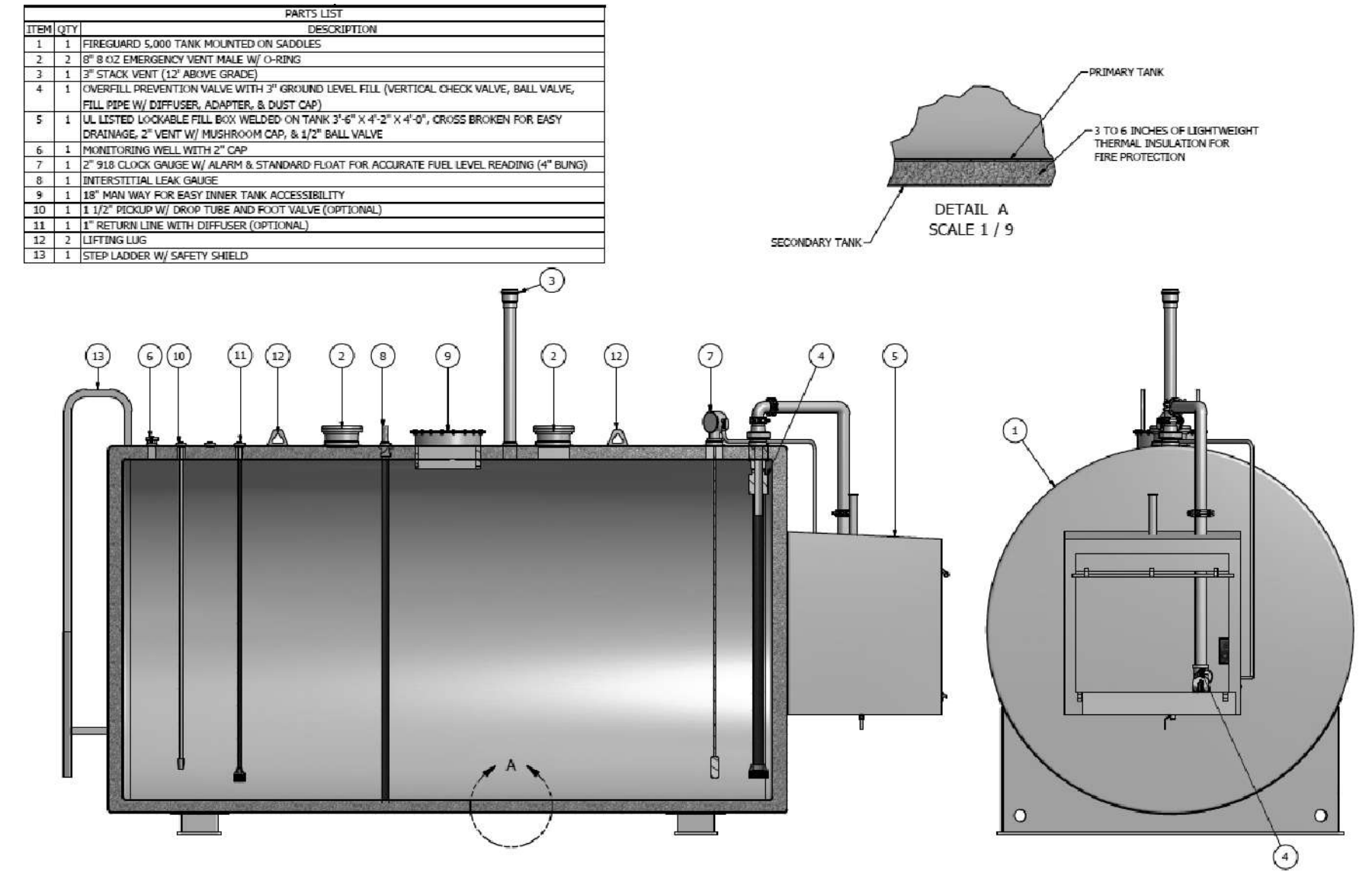
FUEL TANK DETAIL 20,000 GAL SHEET 1 OF 2



FUEL TANK DETAIL 20,000 GAL SHEET 2 OF 2



FUEL TANK DETAIL 5,000 GAL SHEET 1 OF 2



FUEL TANK DETAIL 5,000 GAL SHEET 2 OF 2

Model 515 Series AST Remote Spill Container

Application
Remote fill containers provide containment for small spills that may occur at the fill point during remote filling operations.

Features and Details

- Single connections in 2", 3" or 4" female threads
- Dual connections in 2" or 3" (may be combined)
- 15 gallon capacity
- Cast spring cylinder holds the lid in the up position when fueling
- Lockable with a padlock
- Weather-tight enclosure
- Vent cover
- 2 inch female threaded return pump connection
- 1.75\"/>

Materials of Construction

- Container and lid - 12 gauge steel, powder coated white
- Pipe connection - powder coated steel
- Pedestal mount - Schedule 40 steel pipe, powder coated steel white
- Adjustable four-leg stand - 10 gauge stainless steel or powder coated steel white
- Ball valve - brass
- Gasket - Teflon

Code Compliance
ULC listed, Florida DEP EQ 335

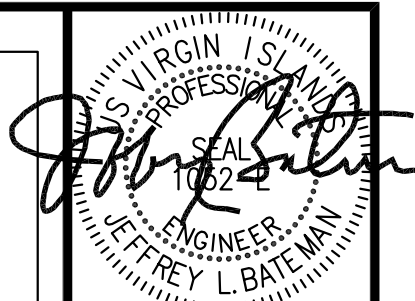
REMOTE FILL BOX SHEET 1 OF 2

Model 515 Series AST Remote Spill Container (continued)

SPECIFICATION SHEET

Model	Capacity	Connections	Stand	Mount	Weight
515-2000-AC	2000	2	4	1	150.0
515-2000-AC	2000	2	4	2	150.0
515-2000-AC	2000	2	4	3	150.0
515-2000-AC	2000	2	4	4	150.0
515-2000-AC	2000	2	4	5	150.0
515-2000-AC	2000	2	4	6	150.0
515-2000-AC	2000	2	4	7	150.0
515-2000-AC	2000	2	4	8	150.0
515-2000-AC	2000	2	4	9	150.0
515-2000-AC	2000	2	4	10	150.0
515-2000-AC	2000	2	4	11	150.0
515-2000-AC	2000	2	4	12	150.0
515-2000-AC	2000	2	4	13	150.0
515-2000-AC	2000	2	4	14	150.0
515-2000-AC	2000	2	4	15	150.0
515-2000-AC	2000	2	4	16	150.0
515-2000-AC	2000	2	4	17	150.0
515-2000-AC	2000	2	4	18	150.0
515-2000-AC	2000	2	4	19	150.0
515-2000-AC	2000	2	4	20	150.0

REMOTE FILL BOX SHEET 2 OF 2



BCSC DOSPIVA
Engineers • Surveyors • Planners
5001-12 Chandler's Wharf, Christiansburg, St. Croix, VI 000820
WEBSITE: WWW.BATEMANCIVILSURVEY.COM PHONE: (347) 776-7474

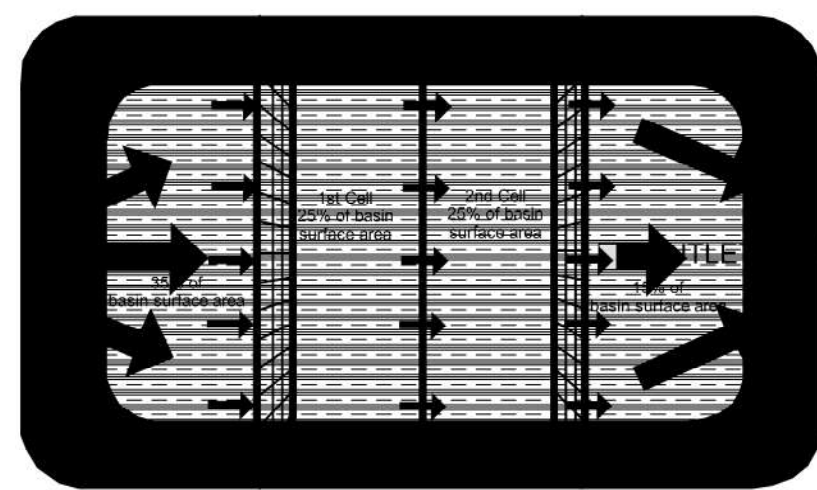


ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

SITE PLAN DETAILS
MISCELLANEOUS

Designed By: MKD
Drawn By: MKD
Checked By: JLB
Scale: N.T.S.
Date: 08/11/2017
Revised:
Project Number: 16X065

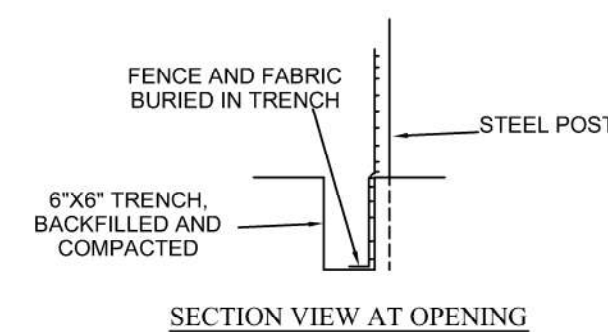
C602



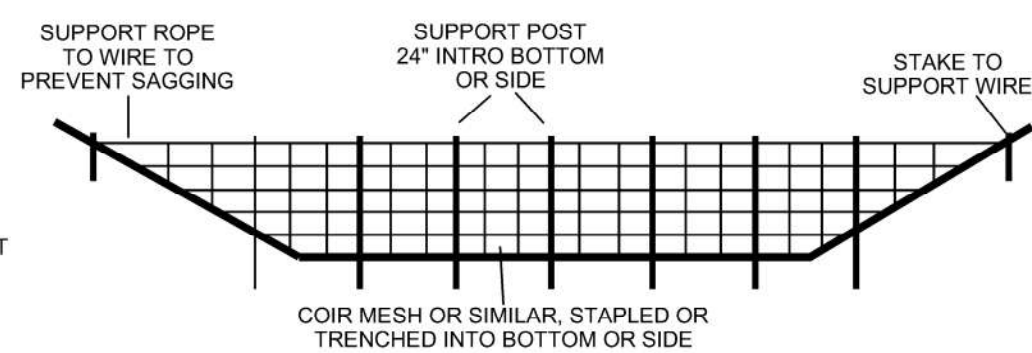
- NOTES:
1. BAFFLE MATERIAL SHOULD BE SECURED AT THE BOTTOM AND SIDES USING STAPLES OR BY TRENCHING AS FOR SILT FENCE.
 2. MOST OF THE SEDIMENT WILL ACCUMULATE IN THE 1ST BAY, WHICH SHOULD BE READILY ACCESSIBLE FOR MAINTENANCE.
 3. PROVIDE 3 BAFFLES (USE TWO IF LESS THAN 20 FEET IN LENGTH). PROVIDE 5 BAFFLES FOR DRAINAGE AREAS GREATER THAN 10 ACRES.
 4. BAFFLE SHALL BE 700 G/M2 COIR EROSION BLANKET.
 5. TOPS OF BAFFLES SHOULD BE 2 INCHES LOWER THAN THE TOP OF THE BERMS.
 6. INSPECT BAFFLES FOR REPAIR ONCE A WEEK AND AFTER EACH RAINFALL.

PLAN VIEW

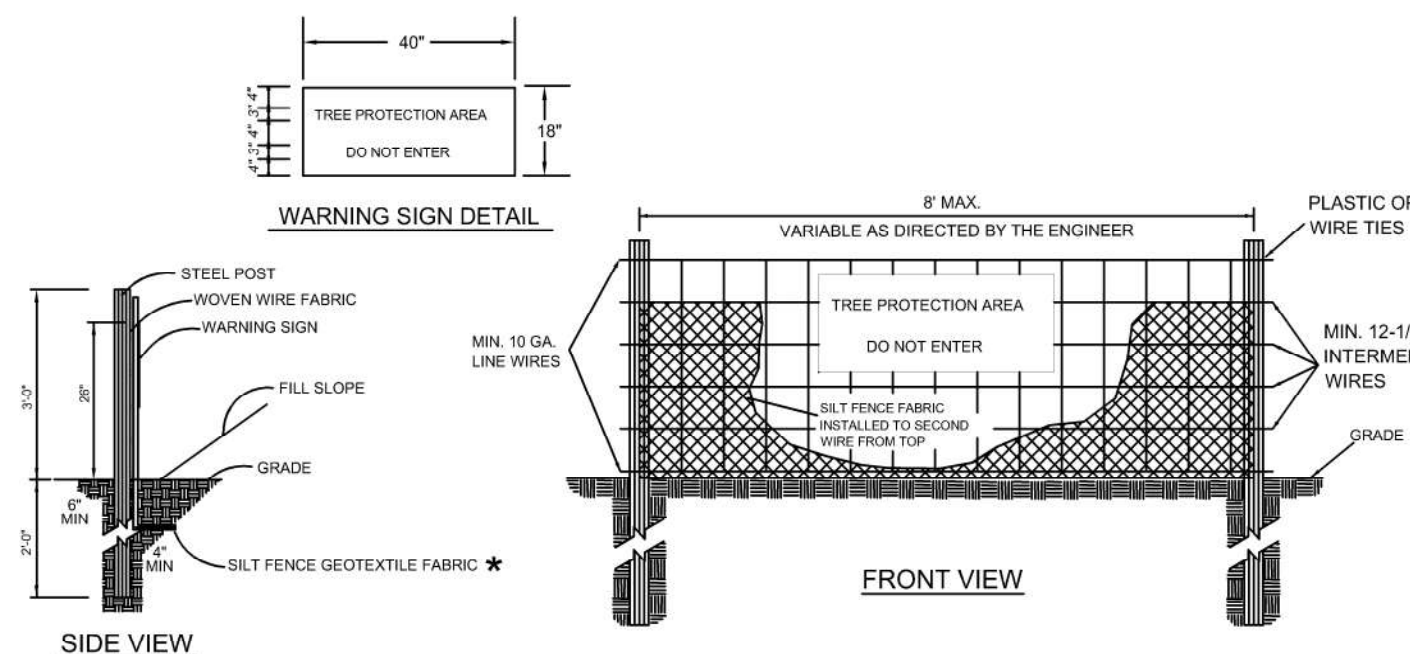
CROSS SECTION



SECTION VIEW AT OPENING

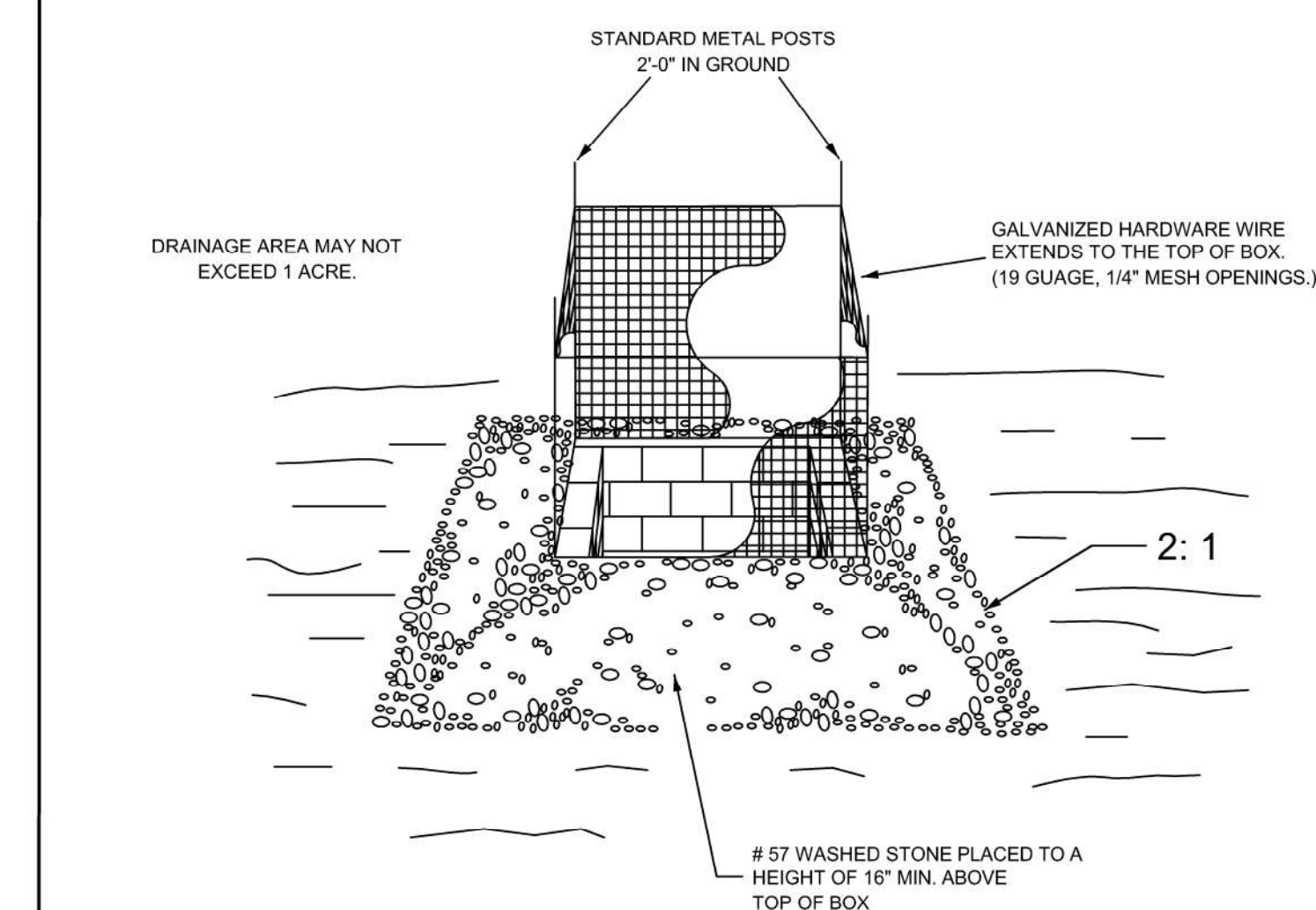


STANDARD BAFFLES DETAIL (N.T.S.)

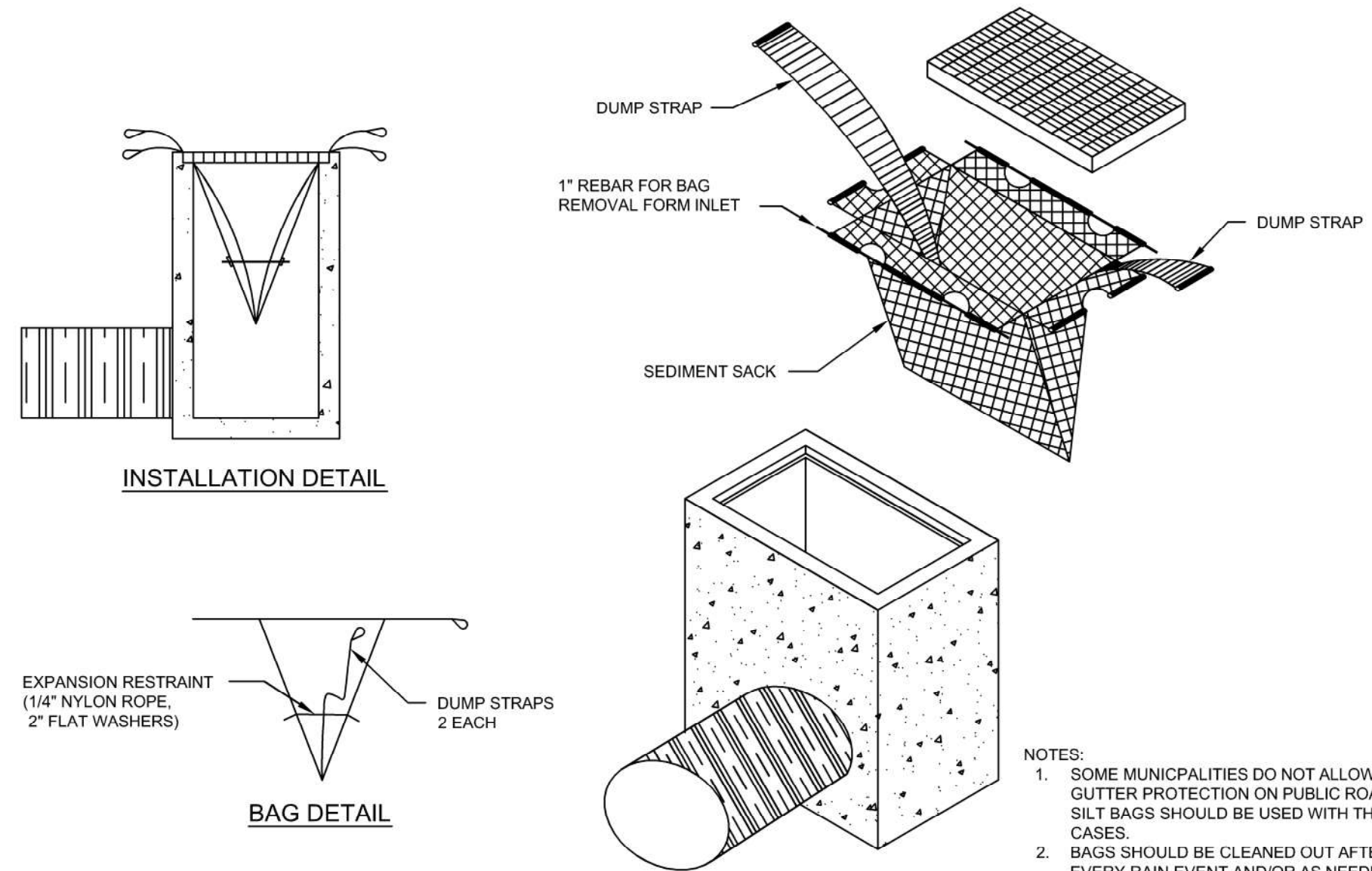


- NOTES:
1. WARNING SIGNS TO BE MADE OF DURABLE, WEATHERPROOF MATERIAL.
 2. LETTERS TO BE 3" HIGH MINIMUM, CLEARLY LEGIBLE AND SPACED AS DETAILED.
 3. PLACE A SIGN AT EACH END OF LINEAR TREE PROTECTION AND 50' ON CENTER THEREAFTER.
 4. FOR TREE PROTECTION AREAS LESS THAN 200' IN PERIMETER, PROVIDE NO LESS THAN ONE SIGN PER PROTECTION AREA.
 5. ATTACH SIGNS SECURELY TO FENCE POSTS AND FABRIC.
 6. MAINTAIN TREE PROTECTION FENCE THROUGHOUT DURATION OF PROJECT.
 7. ADDITIONAL SIGNS MAY BE REQUIRED BASED ON ACTUAL FIELD CONDITIONS.
 8. FLOW SHALL NOT RUN PARALLEL WITH THE FENCE.
 9. END OF SILT FENCE NEEDS TO BE TURNED UPHILL.
 10. SEE N.C. STATE DENR PRACTICE STANDARDS & SPECIFICATIONS SEDIMENT FENCE SET FOR CONDITIONS WHERE PRACTICE APPLIES; PLANNING CONSIDERATIONS & DESIGN CRITERIA. (HOWEVER FLOW SHALL NOT RUN PARALLEL WITH THE TOE OF THE FENCE).

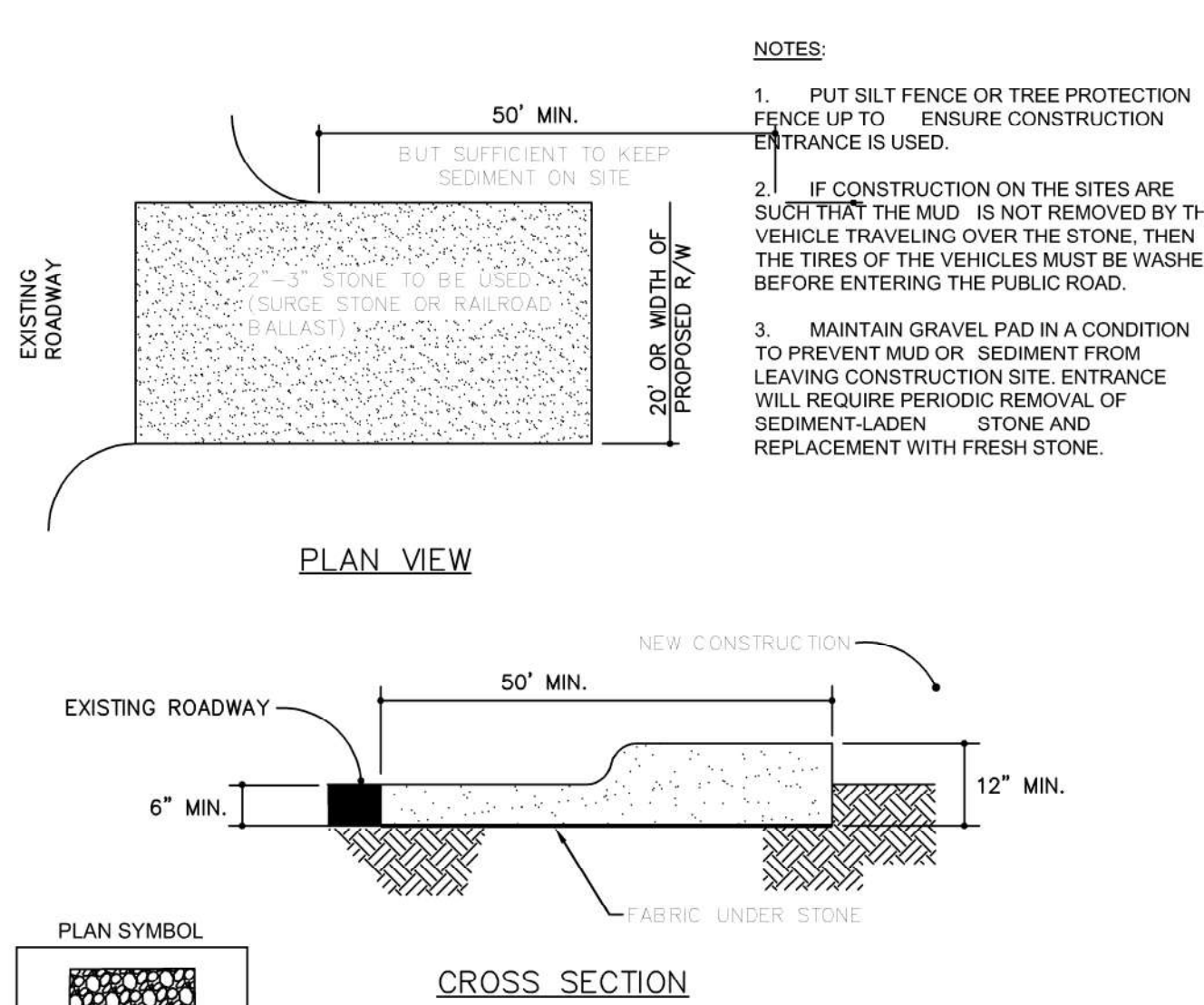
STANDARD TREE PROTECTION FENCE DETAIL (N.T.S.)



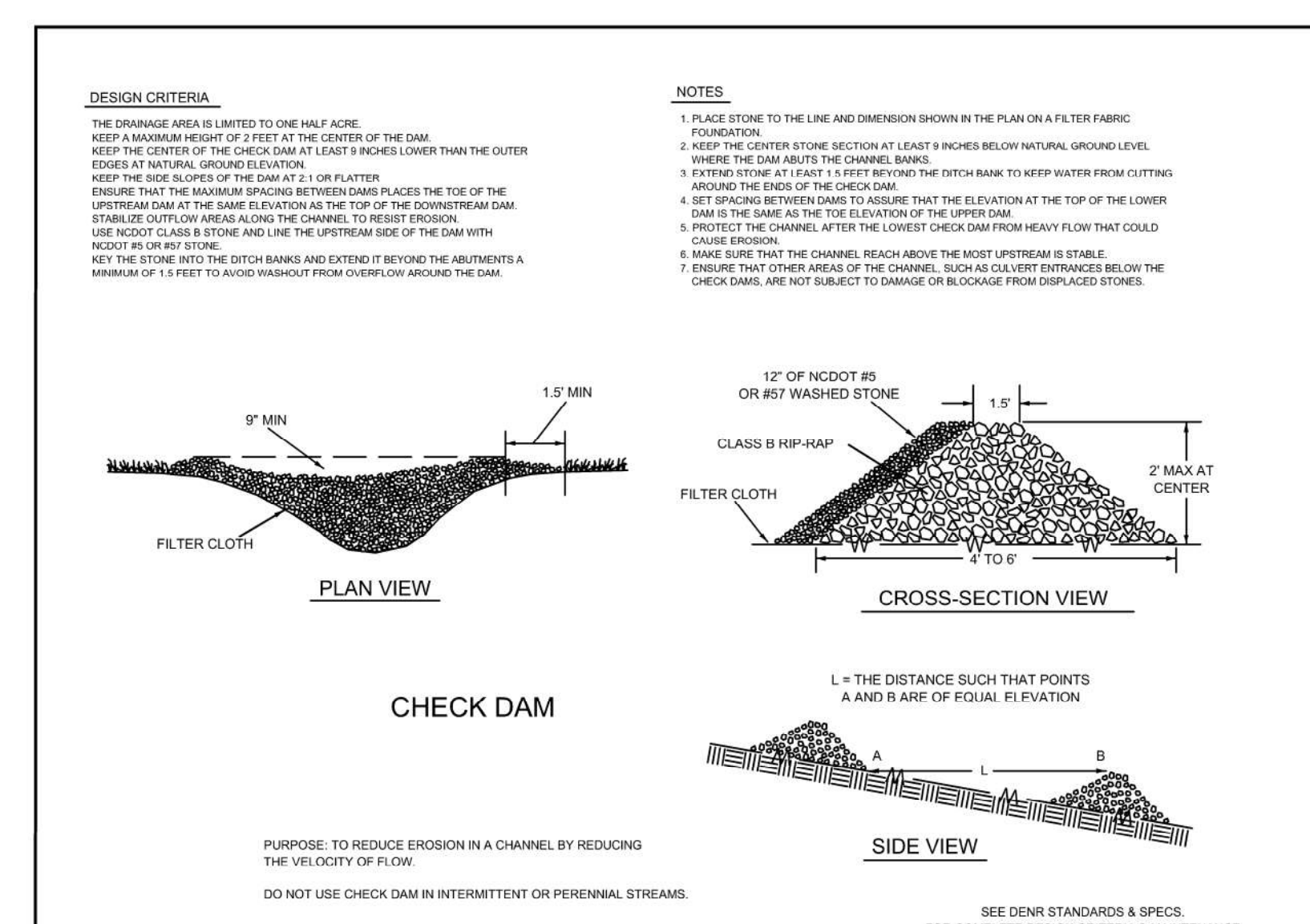
STANDARD CATCH BASIN / YARD INLET PROTECTION (N.T.S.)



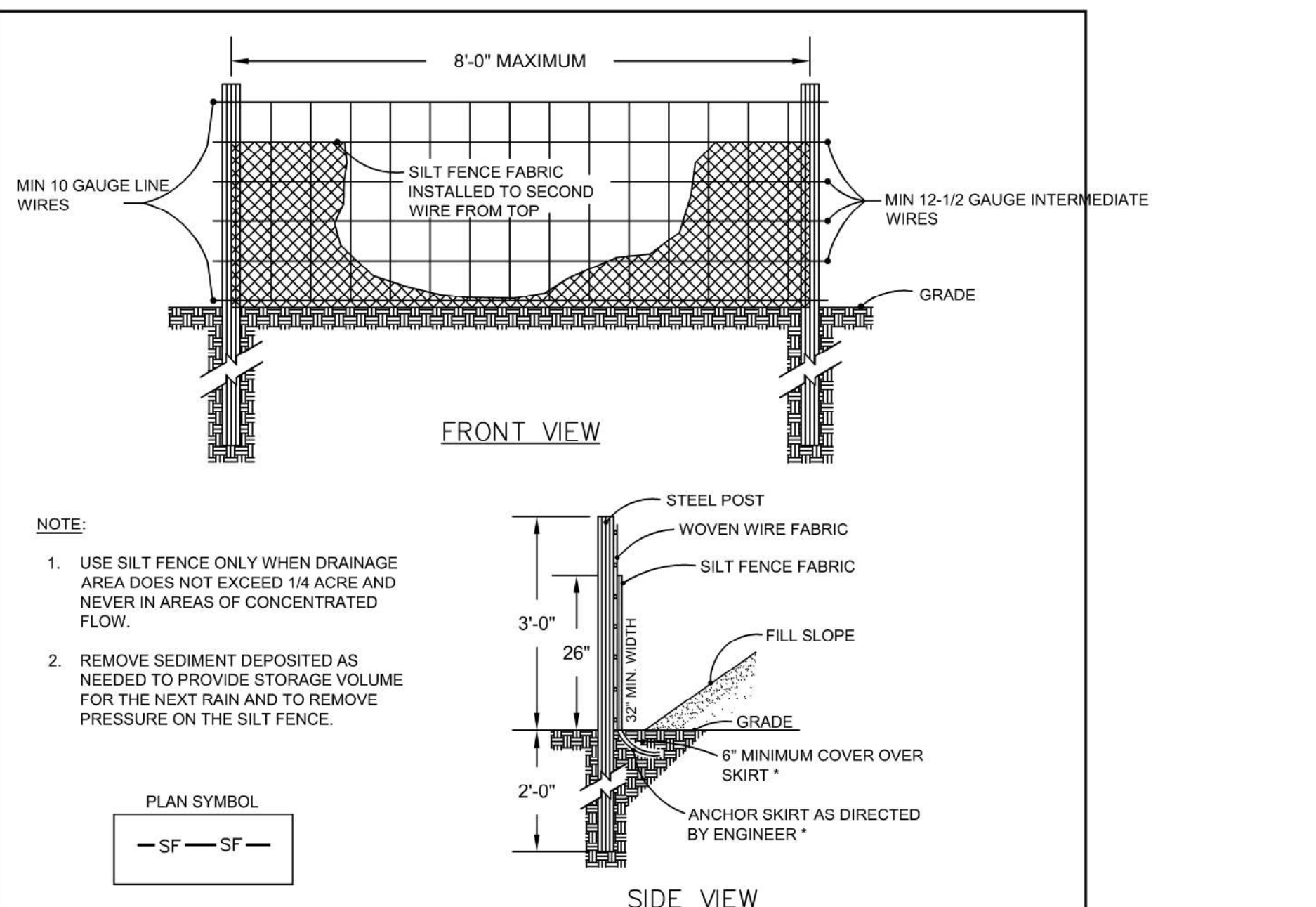
STANDARD SILT BAG - INLET SEDIMENT CONTROL DEVICE (N.T.S.)



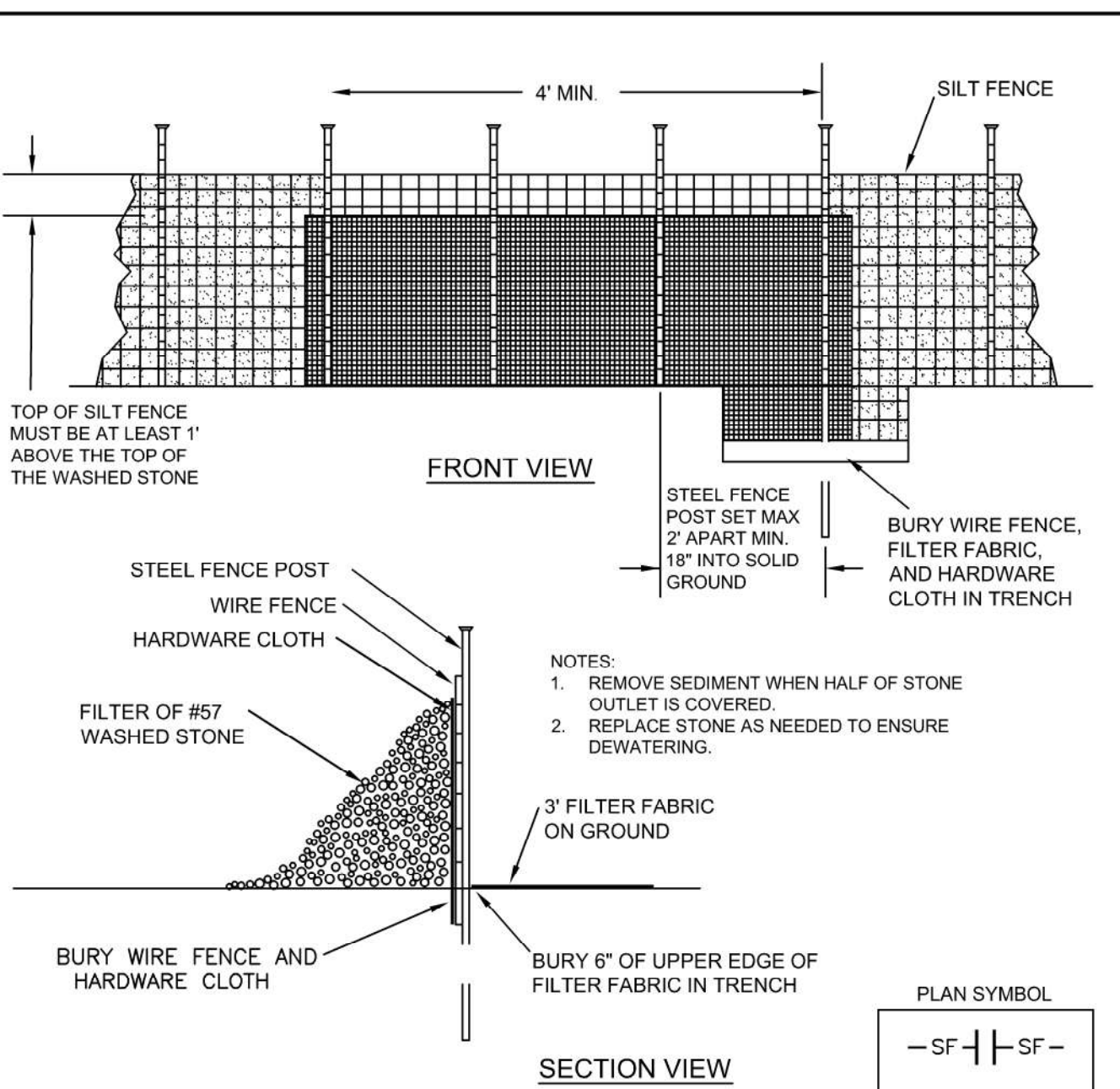
STANDARD CONSTRUCTION ENTRANCE (N.T.S.)



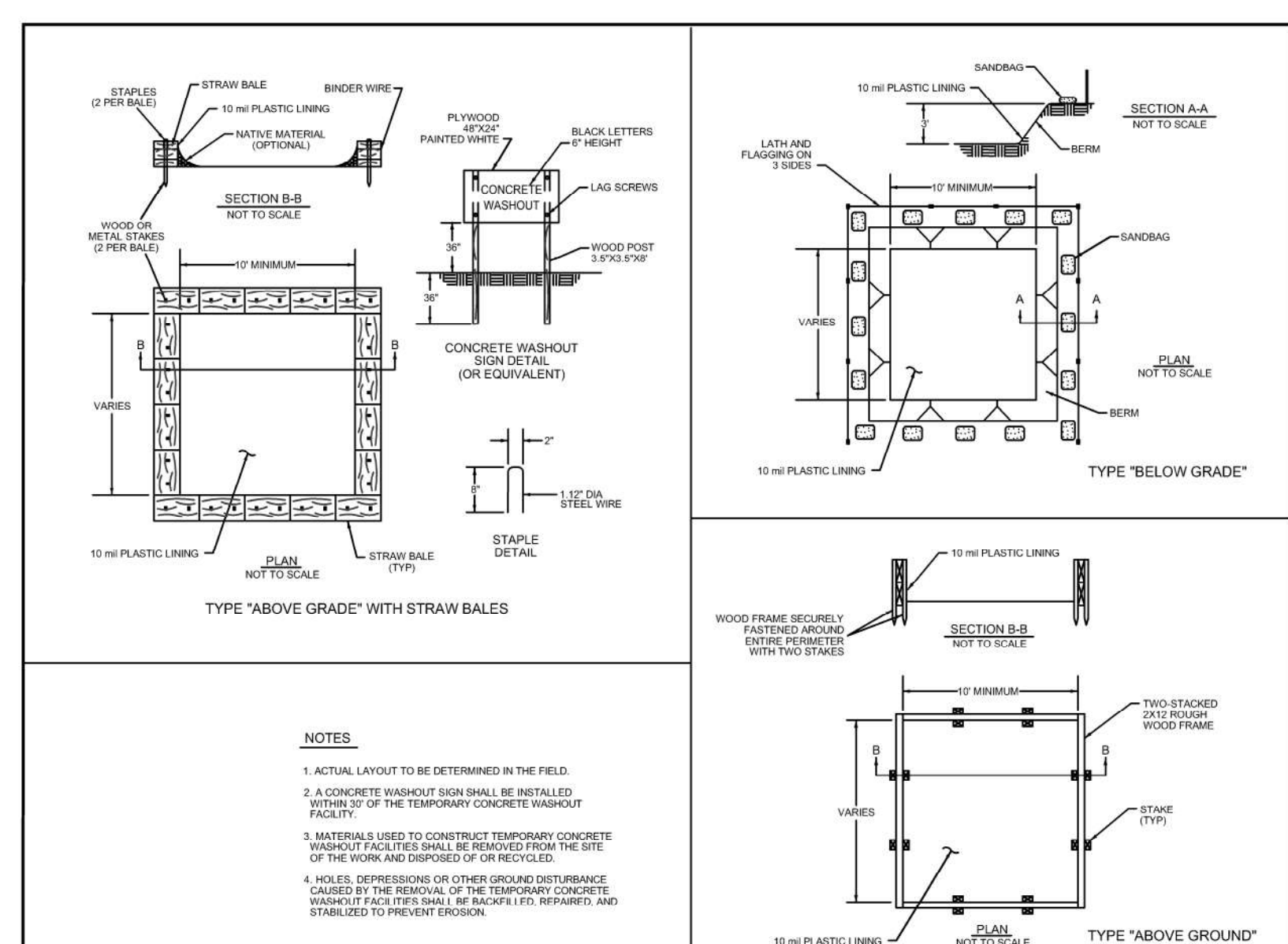
CHECK DAM (N.T.S.)



STANDARD TEMPORARY SILT FENCE (N.T.S.)




STANDARD SILT FENCE OUTLET (N.T.S.)




CONCRETE WASH OUT (N.T.S.)

PRELIMINARY FOR REVIEW ONLY



BCSC DOSPIVA
Engineers • Surveyors • Planners
5001-12 Chandler's Wharf, Christiansburg, VA, 22603
WEBSITE: WWW.BATEMANCIVILSURVEY.COM PHONE: (301)776-7474



ST. JOHN MARINA
CORAL HARBOR
St. John, U.S. Virgin Islands

EROSION & SEDIMENT CONTROL PLAN DETAILS

Designed By: MKD
Drawn By: MKD
Checked By: JLB
Scale: N.T.S.
Date: 07/31/2017
Revised:

Project Number: 16X065

C700